

Horace Mann Elementary School

Additions and Renovations

225 Nevada Street, Newton Massachusetts

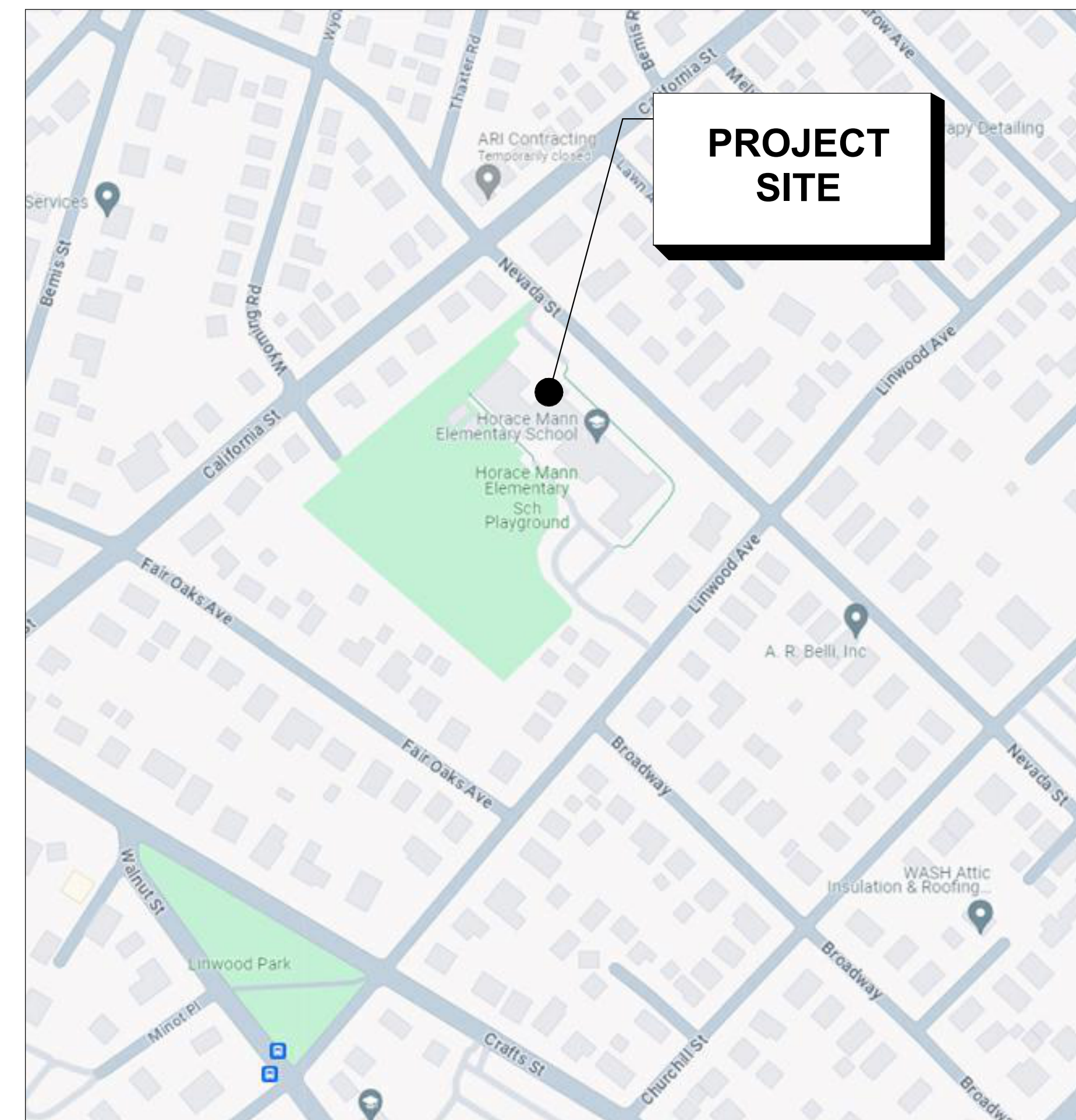
Site Plan Approval March 29, 2024

EXTERIOR RENDERING



LOCATION PLAN

NO SCALE



RAYMOND DESIGN ASSOCIATES, INC. • ARCHITECT

60 LEDGEWOOD PLACE, ROCKLAND, MA 02370 TEL: 781. 421. 3480

CITY OF NEWTON
1000 COMMONWEALTH AVE
NEWTON CENTRE, MA 02459
OWNER

LORD ENVIROMENTAL
1506 PROVIDENCE HIGHWAY - SUITE 30
NORWOOD, MA 02062
GEOENVIROMENTAL ENGINEERING

GARCIA, GALUSKA, DeSOUSA
375 FAUNCE CORNER ROAD, SUITE D
DARTMOUTH, MA 02747
HVAC / ELECTRICAL / PLUMBING / FIRE PROTECTION

TRAVERSE
10 CHESTNUT STREET, 4TH FLOOR
PROVIDENCE, RI 02903
LANDSCAPE ARCHITECTURE

BUILDING FIRE & ACCESS, INC
17 BRIAN ROAD
LANCASTER, MA 01523
CODE & ACCESSIBILITY CONSULTANT

NV5
70 FARGO ST SUITE 800
BOSTON, MA 02210
OWNERS PROJECT MANAGER

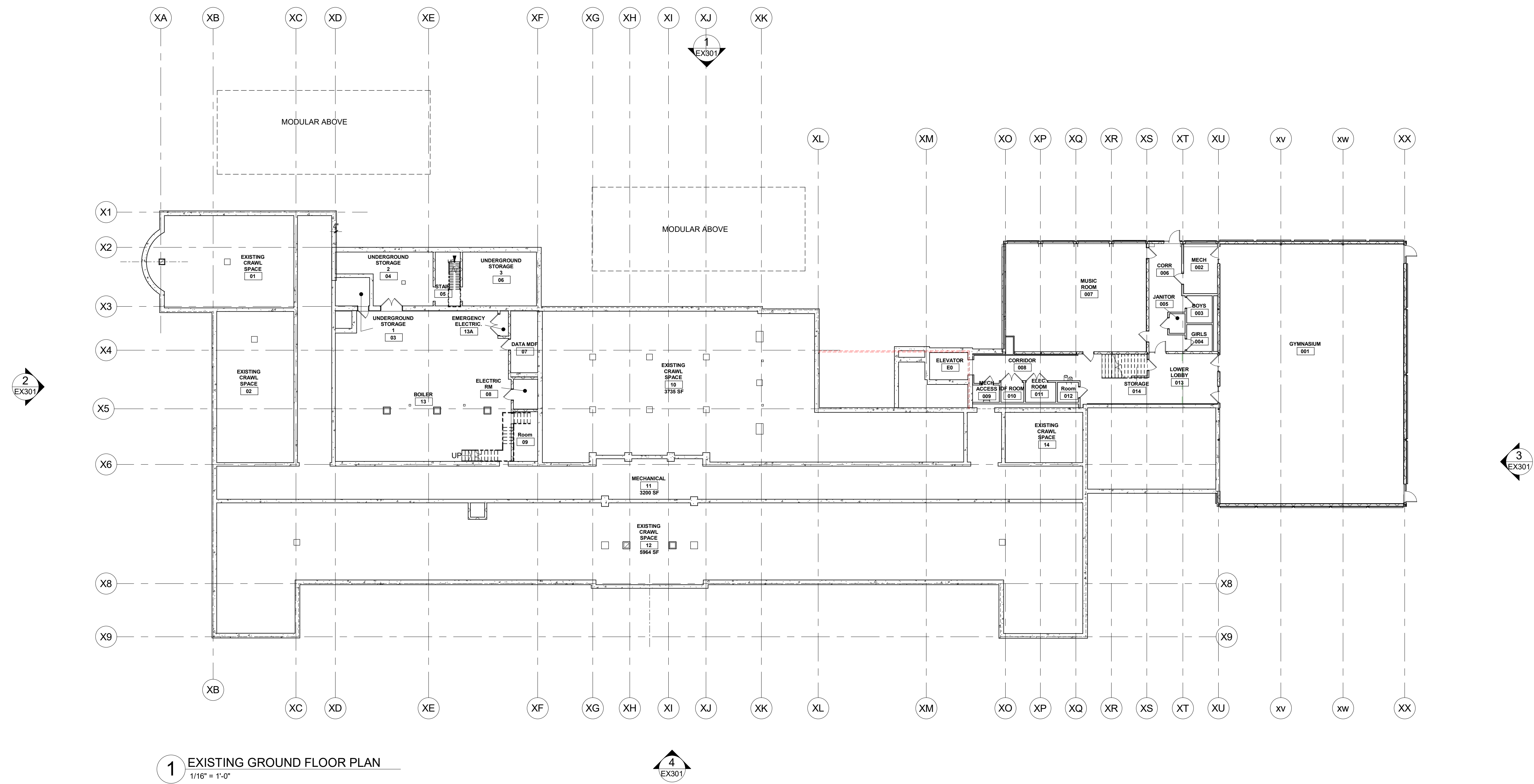
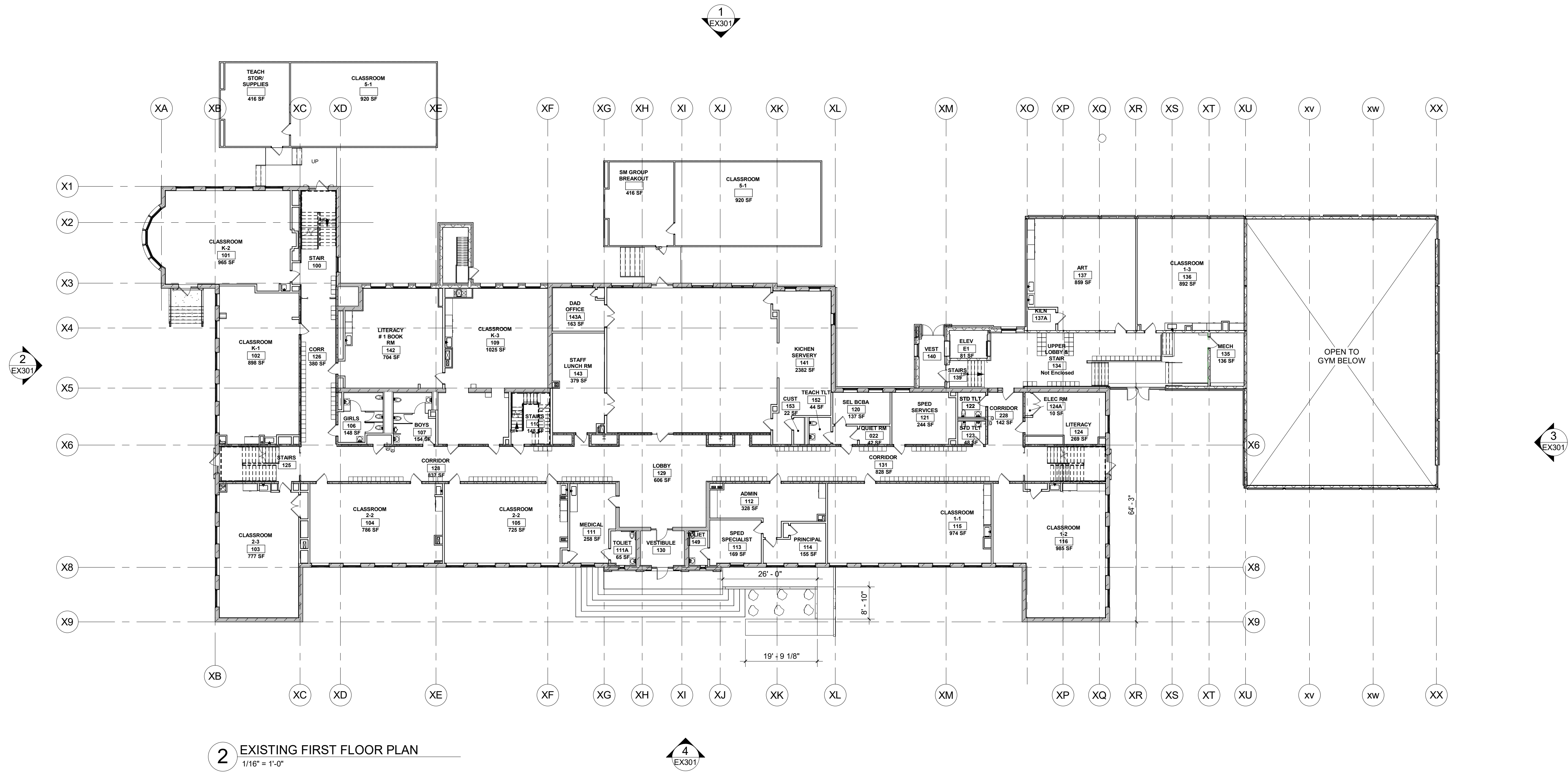
SAMIOTES CONSULTANTS INC.
20 A STREET
FRAMINGHAM, MA 01701
CIVIL ENGINEERING

PM&C
20 DOWNER AVE. SUITE 5
HIGHAM MA 02045
COST ESTIMATING

TERRACON CONSULTANTS INC
77 SUNDAIL AVE, SUITE 401W
MANCHESTER, NH 03103
GEOTECHNICAL ENGINEER

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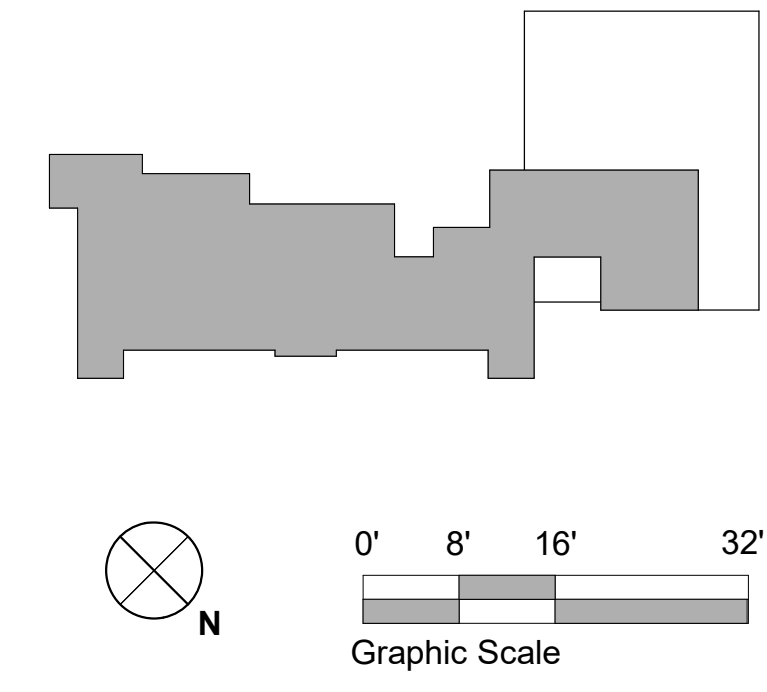
EXISTING GROUND AND FIRST FLOOR PLANS

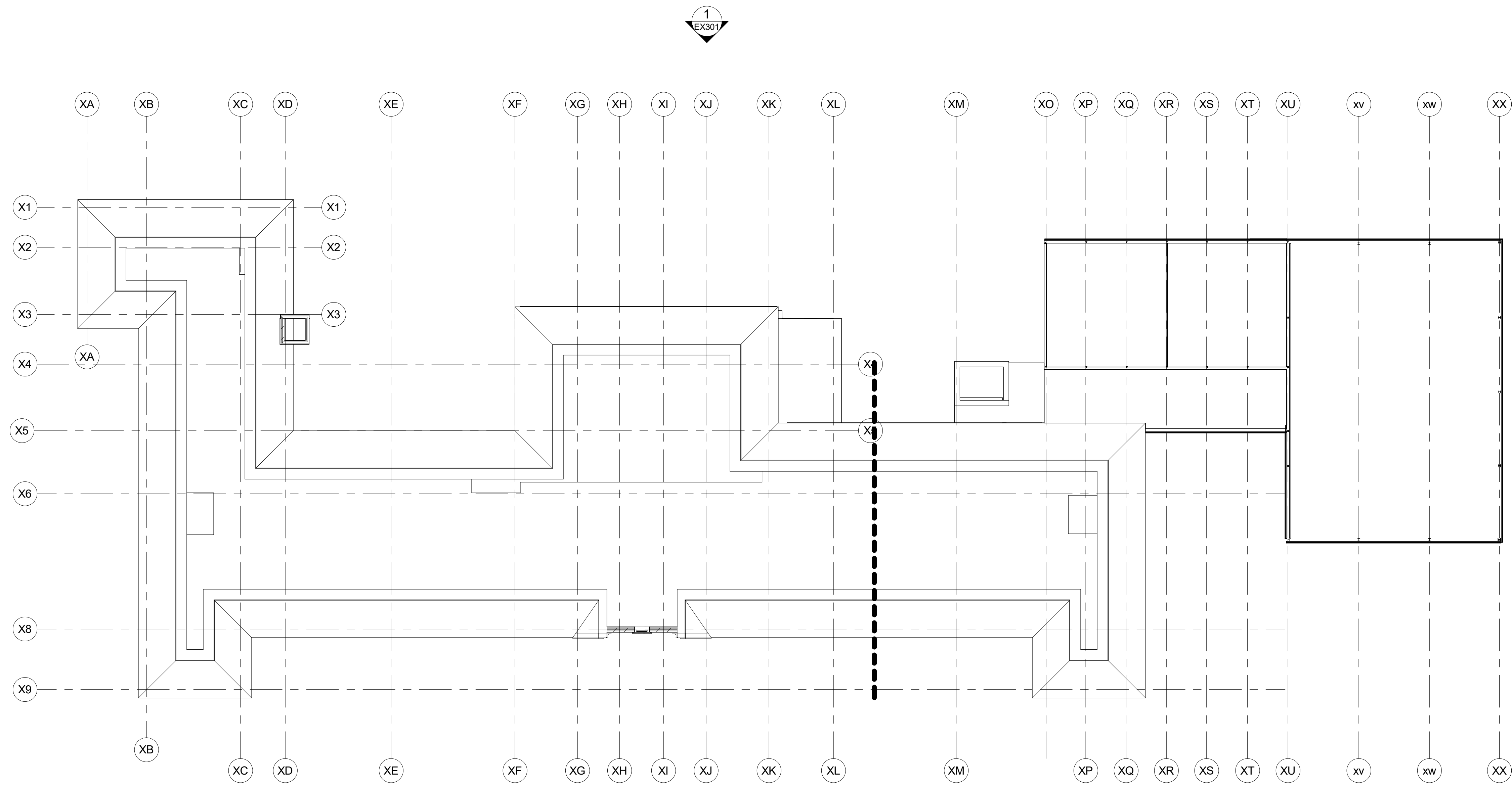


Revisions:

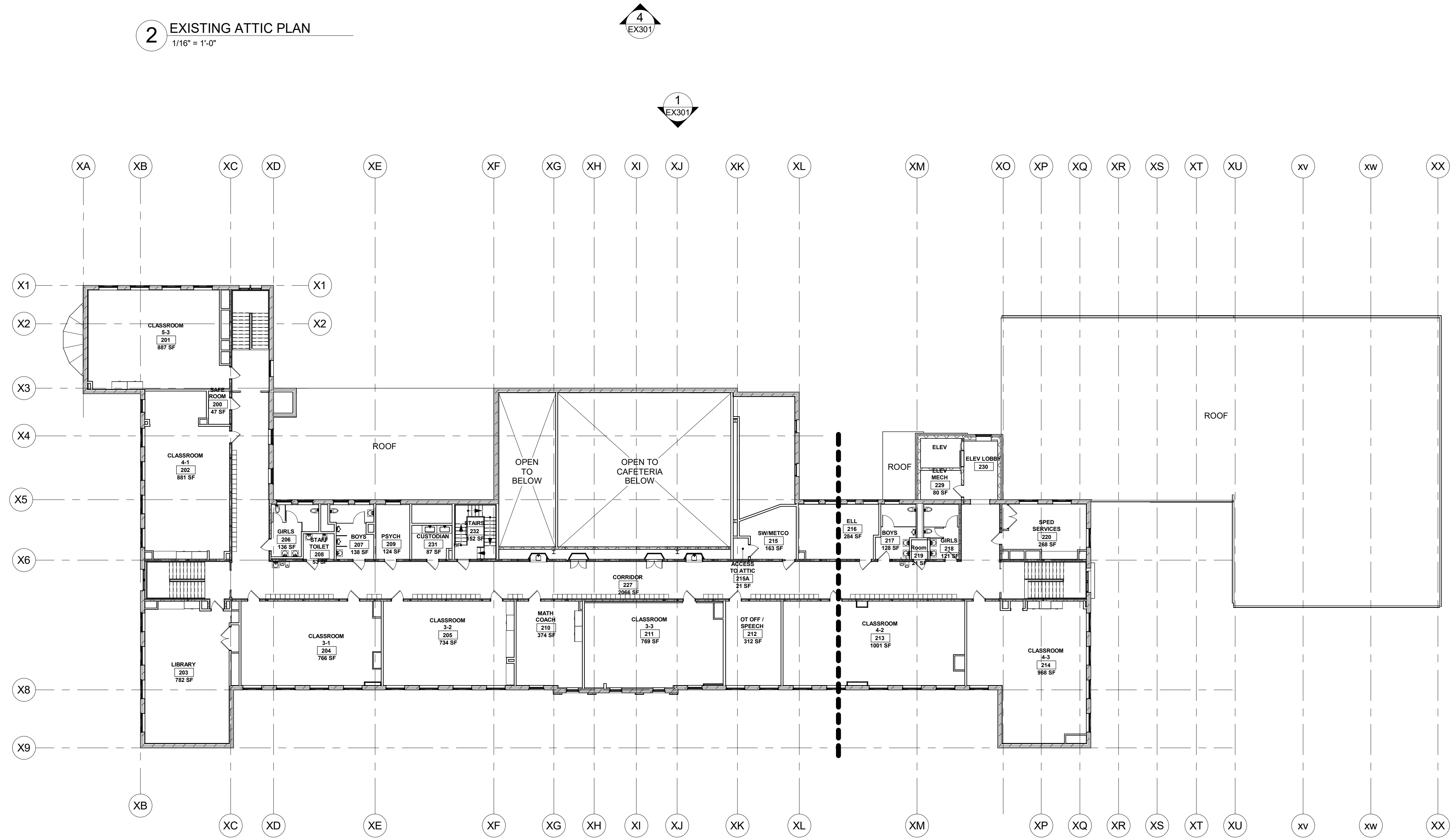
No.	Date	Description

Drawing Scale: 1/16" = 1'-0"
 Project No.: NEW2101
 Date: March 29, 2024
 Site Plan Approval

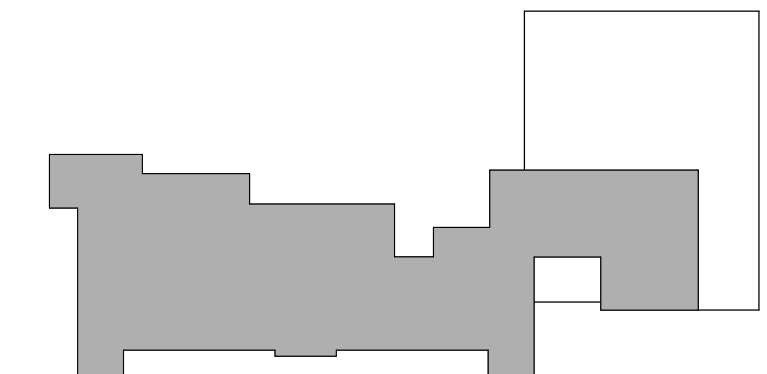




2 EXISTING ATTIC PLAN
1/16" = 1'-0"



1 EXISTING SECOND FLOOR PLAN
1/16" = 1'-0"



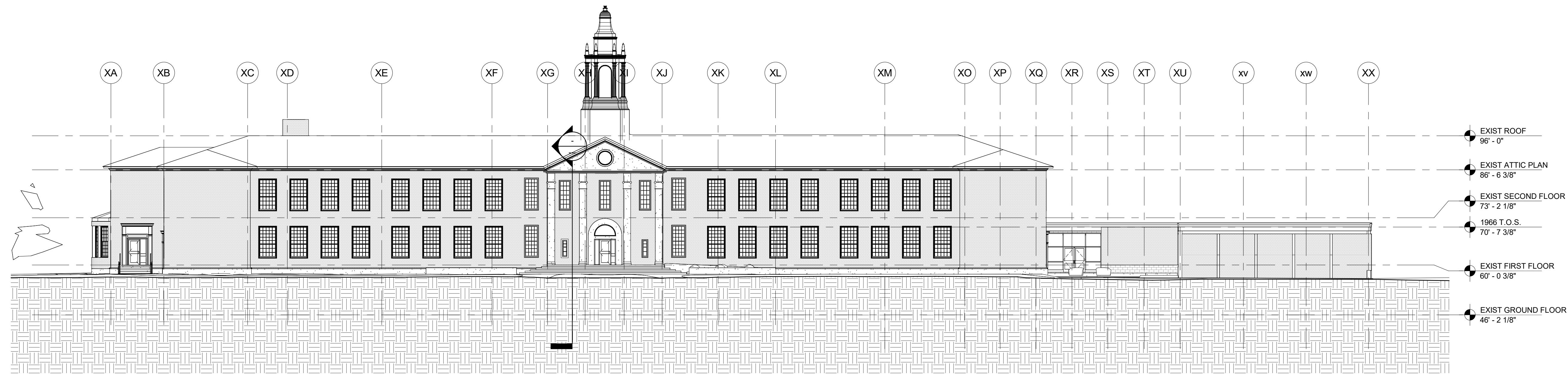
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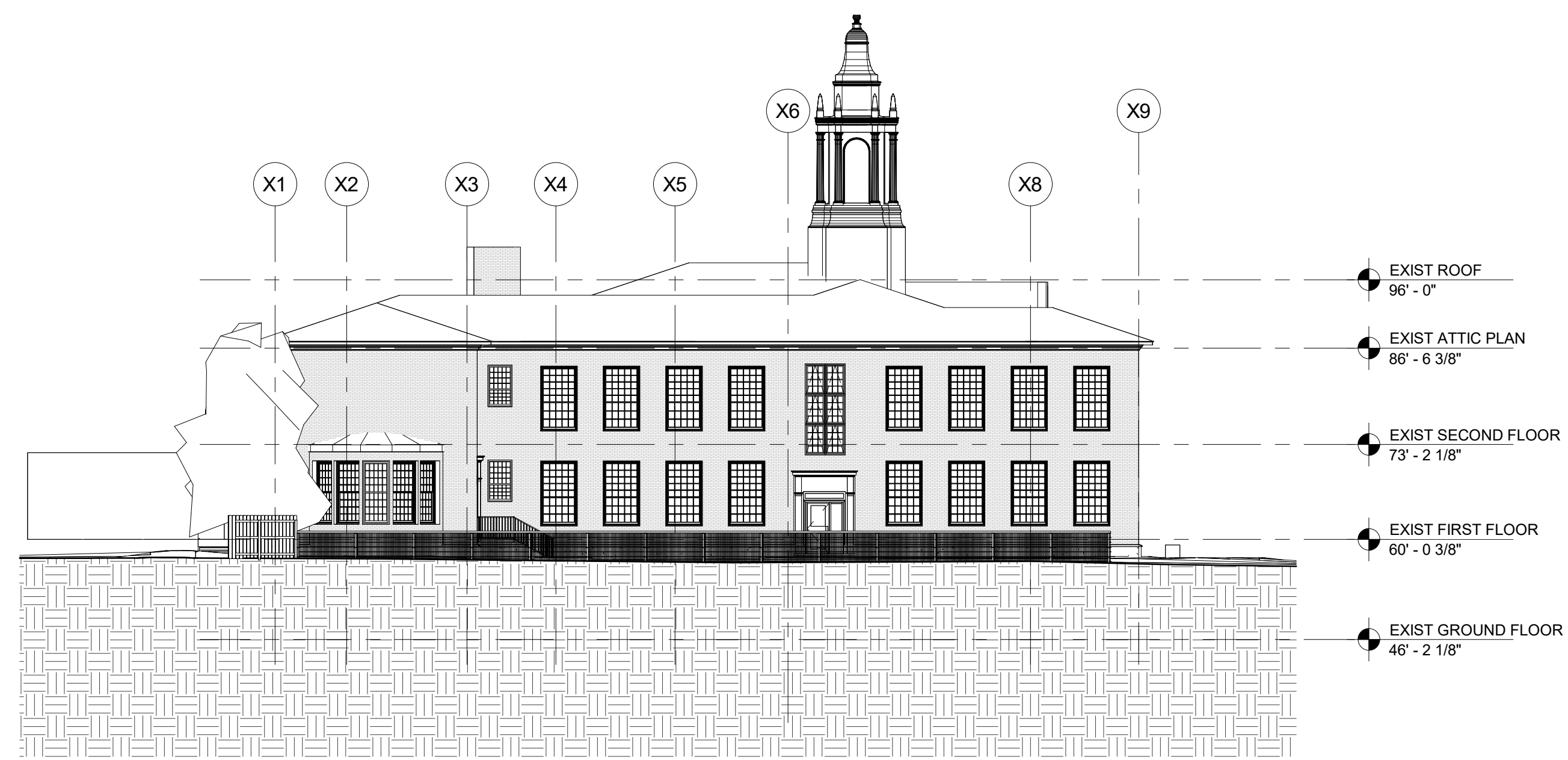
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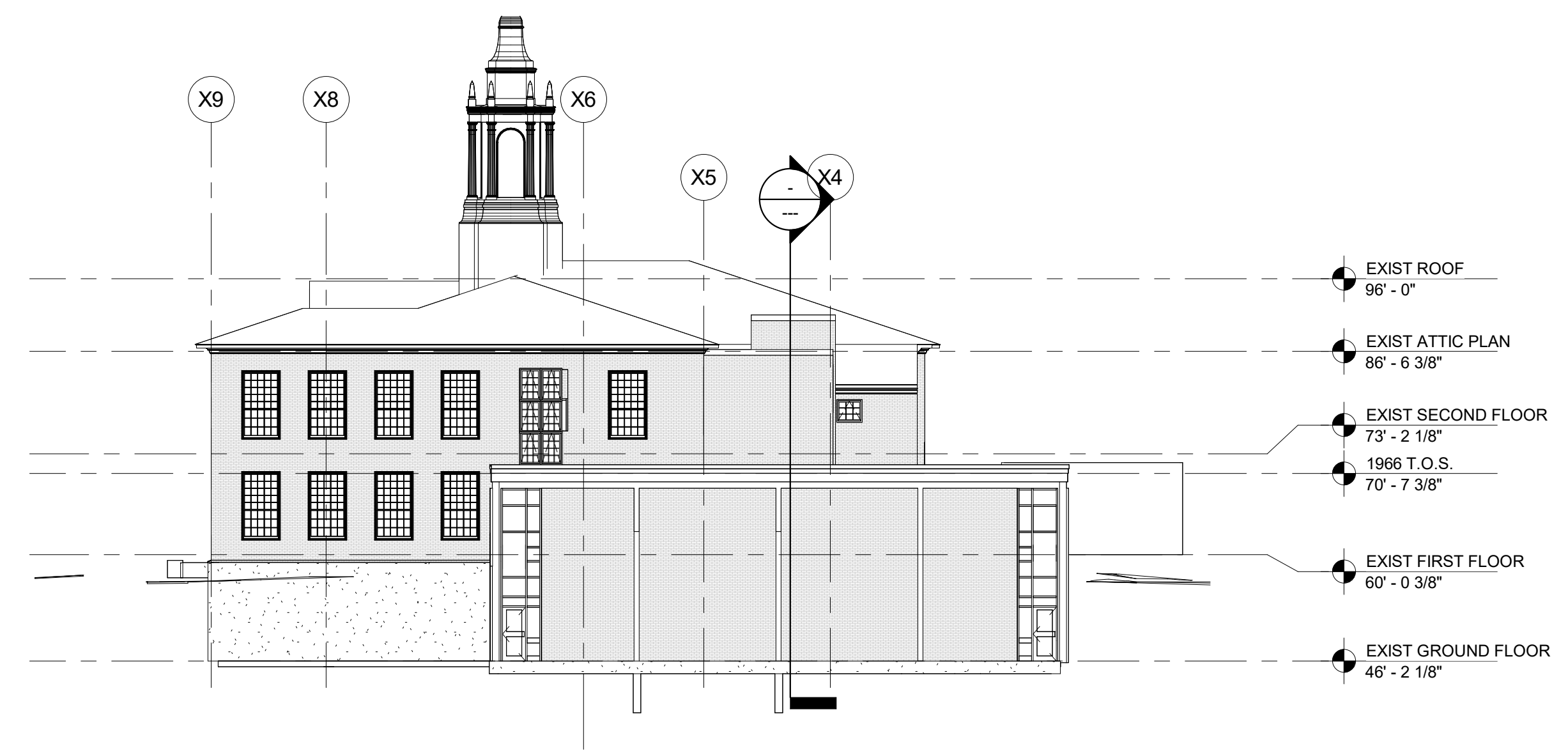
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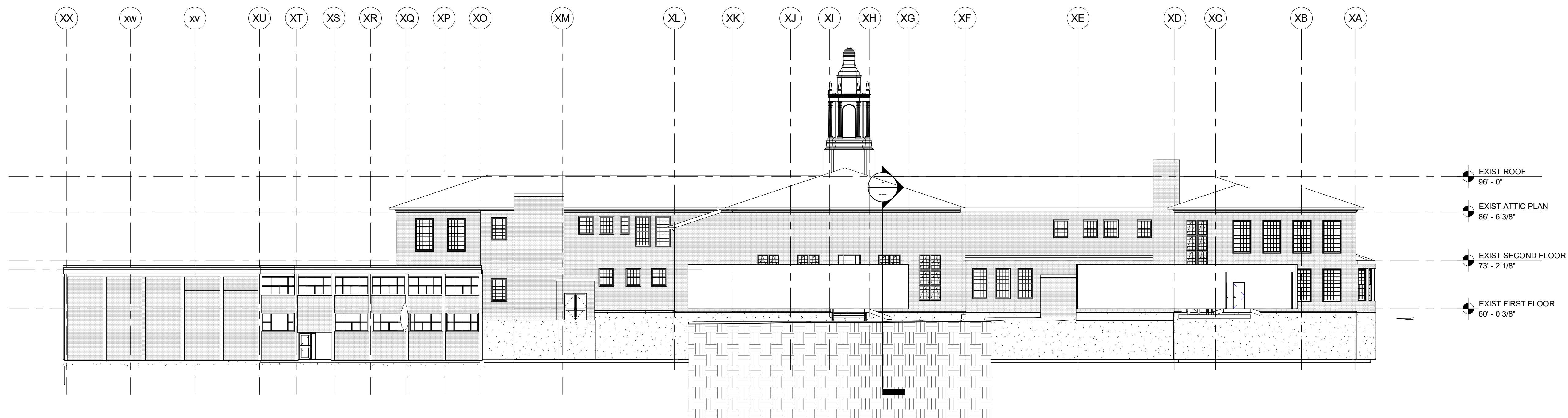
4 EXISTING NORTH ELEVATION
1/16" = 1'-0"



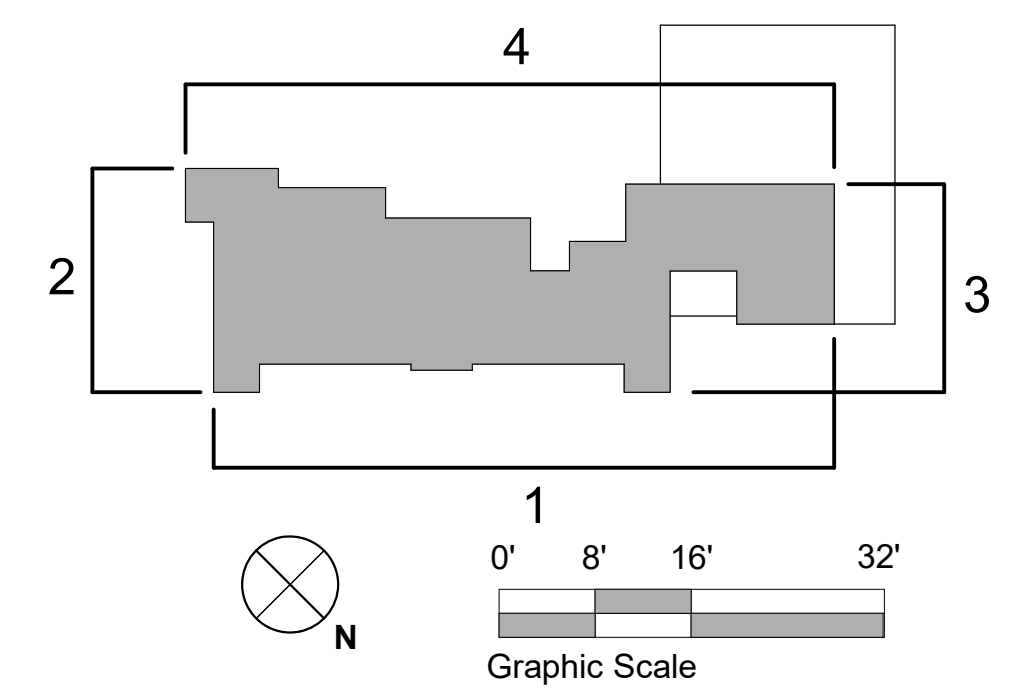
2 EXISTING EAST ELEVATION
1/16" = 1'-0"



3 EXISTING WEST ELEVATION
1/16" = 1'-0"



1 EXISTING SOUTH ELEVATION
1/16" = 1'-0"



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1 EXIST / DEMO GROUND FLOOR PLAN
3/32" = 1'-0"

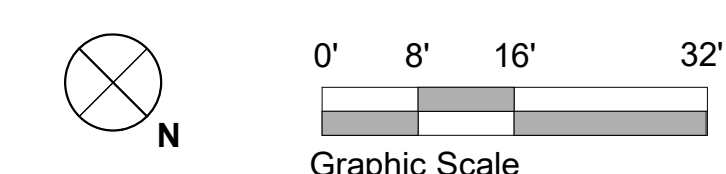
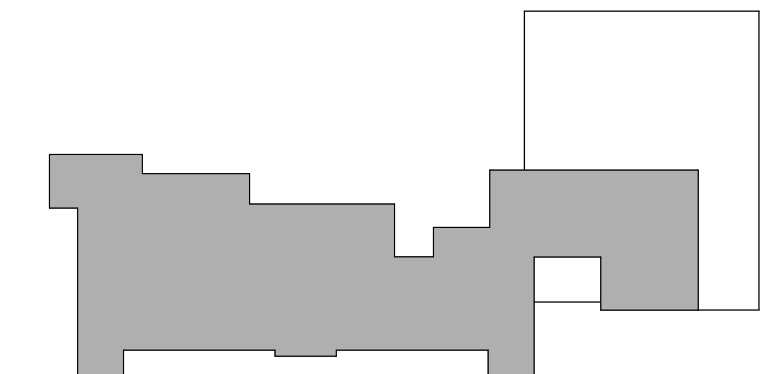
DEMOLITION GENERAL NOTES

- THE DEMOLITION DRAWINGS INDICATE THE GENERAL EXTENT. ONLY OF THE DEMOLITION REMOVALS AND ALTERATION WORK TO BE PERFORMED. PRIOR TO COMMENCING ANY DEMOLITION AND REMOVAL WORK, CAREFULLY EXAMINE ALL CONDITIONS AS THEY EXIST. VERIFY WITH THE ARCHITECT THE ACTUAL EXTENT OF THE DEMOLITION AND REMOVAL WORK WHERE DEVIATIONS OCCUR. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVING OF ALL EXISTING MATERIALS THAT WOULD BE OTHERWISE INTERFERE WITH THE PROPER INSTALLATION OR FUNCTION OF THE NEW WORK, WHETHER OR NOT SUCH EXISTING MATERIALS OR CONDITIONS HAVE BEEN INDICATED. SUCH WORK BEING PERFORMED SHALL BE WITHOUT ADDITIONAL COST TO THE CONTRACT, AND PERFORM THE REQUIRED DEMOLITION, REMOVALS, AND ALTERATION WORK, EXCEPT AS NOTED IN THE VARIOUS TRADE SECTIONS, IN WHICH CASE THE SPECIFIC TRADE SHALL PERFORM SEGMENTS OF THE DEMOLITION AND REMOVAL OF WORK, WHEREVER GENERAL SEGMENTS OF THE EXISTING BUILDING ARE INDICATED ON THE DRAWINGS TO BE DEMOLISHED OR REMOVED, COMPLETELY REMOVE ALL COMPONENTS CONTAINED IN SUCH SEGMENT, EXCEPT WHERE SPECIFICALLY NOTED TO REMAIN.
- SPECIFIC DEMOLITION MAY BE INDICATED ON OTHER DRAWINGS BESIDES THE DEMOLITIONS DRAWINGS, INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL, MEP & FP DRAWINGS.
- DASHED ITEMS ON THE DEMOLITION DRAWINGS INDICATE DEMOLITION, REMOVAL AND / OR STOCKPILING. COORDINATE WITH THE NEW WORK FOR THE FULL EXTENT.
- REPAIR, PATCH AND REPAIR ARE INDICATED ON DEMOLITION AND NEW WORK DRAWINGS. TYP.
- ABANDONED MECHANICAL AND ELECTRICAL SYSTEM SEGMENTS WILL BE IDENTIFIED FOR REMOVAL BY THE APPROPRIATE TRADES. ONCE IDENTIFIED, THE GENERAL CONTRACTOR WILL COORDINATE THE REMOVAL OF THESE ITEMS. PIPE / MECHANICAL / ELEC PENETRATIONS WILL BE EITHER REMOVED COMPLETELY, PATCHED AND FIRESAFED OR GROUND DOWN BELOW ADJACENT SURFACES, THEN PATCHED AND FIRESAFED AS NOTED. PATCHING MATERIAL SHALL MATCH THE ADJACENT MATERIAL. TYP.
- REFER TO SITE DRAWINGS AND SPECIFICATIONS FOR THE REQUIREMENTS OF SITE DEMOLITION.
- NOT ALL NEW OPENINGS IN EXISTING WALLS ARE SHOWN ON THE DEMOLITION DRAWINGS AND SHALL BE COORDINATED WITH NEW WORK INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL, MEP & FP DRAWINGS. THE CONTRACTOR SHALL COORDINATE WITH THE TRADE DRAWINGS TO DETERMINE AREAS WHERE PENETRATIONS ARE REQUIRED AND PERFORM SUCH WORK. REFER TO SECTION 01 73 29 CUTTING AND PATCHING.
- SELECTIVE DEMOLITION OF EXISTING MASONRY WALLS AND OPENINGS INTO EXISTING MASONRY WALLS TO INCLUDE SAW CUTTING DEMOLITION, & REMOVAL OF EXIST CMU TO ALLOW FOR TOOTHING-IN OF NEW MATCHING CONCRETE MASONRY UNITS. NEW MASONRY OPENINGS IN EXISTING CMU WALLS SHALL INCLUDE SAW CUTTING OF OPENINGS, TOOTHING-IN OF NEW STRUCTURAL CMU BOND BEAM LINTELS AT ALL HEAD OPENINGS. TYP. VIBRATORY TOOLS ARE NOT ALLOWED IN THE CREATION OF MASONRY OPENINGS IN EXISTING MASONRY WALLS.
- AT DEMOLITION OF ITEMS IN MASONRY WALLS WHERE MASONRY INFILL IS REQUIRED MASONRY INFILL SHALL BE TOOTHED-IN TO EXISTING MASONRY INCLUDING BUT NOT LIMITED TO REMOVAL OF MECHANICAL EQUIPMENT, PIPING, CONDUIT, DOORS / FRAMES / LOUVERS, ETC.
- REFER TO PHASING PLANS TO DETERMINE SEQUENCE OF DEMOLITION AND CONSTRUCTION.
- FOR ALL SELECTIVE DEMOLITION WORK, REFER TO ASBESTOS ABATEMENT SPECIFICATIONS, SECTION 02 28 00.

--- DEMOLITION / REMOVAL WORK.

SELECTIVE REMOVAL KEYNOTE LEGEND

- DEMOLISH DOOR, FRAME AND HARDWARE IN CMU WALL. PREP FOR ACCEPTANCE OF NEW WORK.
- DEMOLISH STUD WALL AS SHOWN. COORDINATE WITH NEW OPENING.
- DEMOLISH STUD WALL IN ITS ENTIRETY AS SHOWN.
- DEMOLISH CASEWORK AND ASSOCIATED BLOCKING AND HARDWARE. PATCH & REPAIR WALLS AS REQUIRED FOR ACCEPTANCE OF NEW WORK.
-
- REMOVE FOLDING PARTITION WALL, TRACK AND ASSOCIATED BLOCKING AND HARDWARE.
- DEMOLISH THIN SET CERAMIC FLOOR TILE / BASE IN ITS ENTIRETY. PREP FOR ACCEPTANCE OF NEW WORK / FINISH.
- DEMOLISH TOILET PARTITION WALLS INCLUDING HARDWARE AND APPURTENANCES. PREP FOR ACCEPTANCE OF NEW WORK / FINISHES. PATCH AND REPAIR AS REQUIRED FOR THE ACCEPTANCE OF NEW WORK / FINISHES.
- DEMOLISH PORTION OF CMU WALL AS SHOWN, SAWCUT OPENING AND TOOTH IN MATCHING CMU MASONRY. COORDINATE WITH NEW WORK. PREP, PATCH AND REPAIR ADJOINING SURFACES INCLUDING WALLS, FLOORS AND CEILING.
- FOUNDATION TO BE REMOVED/DEMOLISHED TO 2 FEET BELOW LOWEST SLAB ON GRADE. EXISTING SLAB TO BE DEMOLISHED.
- DEMOLISH STEEL STAIR, GUARDS & HANDRAILS.
- DEMOLISH EXTERIOR STOREFRONT SYSTEM IN ITS ENTIRETY INCLUDING EXTERIOR MASONRY WALL AND ROOF. PROVIDE SAWCUT CMU JOINTS FOR CONNECTION OF EXISTING CMU TO NEW.
- SAWCUT OPENINGS IN FLOOR SLAB FOR THE ACCEPTANCE OF NEW PLUMBING. EXCAVATE DOWN TO EXISTING PLUMBING FOR ACCESS. COORDINATE DIMENSIONS WITH PLUMBING.
-
- IN CRAWL SPACE. EXCAVATE AND PREP AREA FOR ACCEPTANCE OF NEW CONCRETE PADS FOR MECHANICAL EQUIPMENT / AHU's.
-
- DEMOLISH ALUM STOREFRONT ENTRANCES / WINDOWS.
- DEMOLISH BRICK VENEER / CMU EXT WALL & CONC FDN TO 2' BELOW FLR SLAB.
- PROVIDE / SAWCUT NEW FLOOR OPENING. REFER TO STRUCTURAL FOR REINFORCING AND STRUCTURAL RECONFIGURATION, COORDINATE WITH NEW WORK. PATCH AND REPAIR AS REQUIRED TO ADJOINING SURFACES.
- DEMOLISH EXTERIOR MASONRY BRICK VENEER AND APPURTENANCES DOWN TO FOUNDATION LEVEL. PROVIDE SAWCUT JOINTS AT ADJOINING NEW WORK. TOOTH IN MASONRY.
- DEMOLISH CONC FLOOR SLAB.
- DEMOLISH ENTIRE WALL AND ROOF ASSEMBLY DOWN TO THE LEVEL OF THE FIRST FLOOR. REFER TO PHASING. PATCH, REPAIR AND PREP FOR ACCEPTANCE OF NEW WORK.
- DEMOLISH ALL PLUMBING FIXTURES. COORDINATE W/ PLUMBING CONTRACTOR / DRAWINGS
- DEMOLISH EXISTING EXHAUST FAN / ROOF HATCH / RTU, ETC. PATCH, REPAIR & INFILL DECK OPENINGS (UP TO 24' E.W.) WITH 20 GAUGE PLATES, REFER TO STRUCTURAL DWGS
-
-
- DEMOLISH METAL ROOF EDGE SYSTEM AND ASSOCIATED MATERIALS. ROOF EDGE BLOCKING SYSTEM TO REMAIN AND REFASTEN.
- DEMOLISH LOUVER IN BRICK VENEER CMU EXT WALL. REMOVE ALL EXISTING SEALANTS AND APPURTENANCES, PATCH AND REPAIR AS REQUIRED, PREP FOR ACCEPTANCE OF NEW WORK. NEW LOUVER BY 23 00 00
- REMOVE VCT FLOORING & RESILIENT BASE
- REMOVE RECESSED FLOOR MAT
- REMOVE CARPET & RESILIENT BASE
- REMOVE DBL HEIGHT METAL LOCKERS. REMOVE CMU BASE AT LOCATIONS NOT RECEIVING NEW LOCKERS.
- REMOVE MARKER / TACK / CHALK / MENU BOARD
- REMOVE DOOR SLAB & HARDWARE
- REMOVE CMU WALL AS REQ'D FOR NEW WORK
- REMOVE HM VISION PANEL IN CMU WALL
- REMOVE RECESSED FE CABINET
- DEMOLISH CONC STAIRS
- REMOVE RESILIENT TREAD & RISER COVERS @ STAIRS
- REMOVE DOOR, HARDWARE & HM FRAME IN STUD WALL
- REMOVE ROLL-UP DOOR
- REMOVE DOOR & HM DOOR FRAME IN STUD WALL
- DEMOLISH CONC PLATFORM
- REMOVE STEEL STAIR GUARD & HANDRAILS
- REMOVE CONC HOUSEKEEPING PADS
- REMOVE MTL STUD FURRING & GWB
-
-
- REMOVE 3' HIGH DBL LAYER GWB SOFFIT @ 10' AFF
- REMOVE 4' HIGH GWB & MTL STUD SOFFIT @ 9' AFF
-
- REMOVE SUSPENDED ACT TILE & GRID ASSEMBLY & ALL MEPPFT DEVICES WITHIN. REFER TO MEPPFT DEMO DWGS
- REMOVE STUD HALF-WALL & DOOR
- DEMOLISH MUD SET CERAMIC FLOOR TILE / BASE IN ITS ENTIRETY. PREP FOR ACCEPTANCE OF NEW WORK / FINISH.
- DEMOLISH COOLER / FREEZER ASSEMBLY
- REMOVE WALL TILE
- DEMOLISH GWB & MTL STUD SOFFIT
- REMOVE MARKER / TACK / CHALK / BOARD & STANDARDS
- REMOVE WALL SHELVING
- REMOVE WALL PADS
- REMOVE CEMENT PLASTER, EXT SHEATHING & SUSPENSION SYSTEM CEILING
- DEMOLISH WOOD DECK, RAILINGS, AND STAIRS IN THEIR ENTIRETY



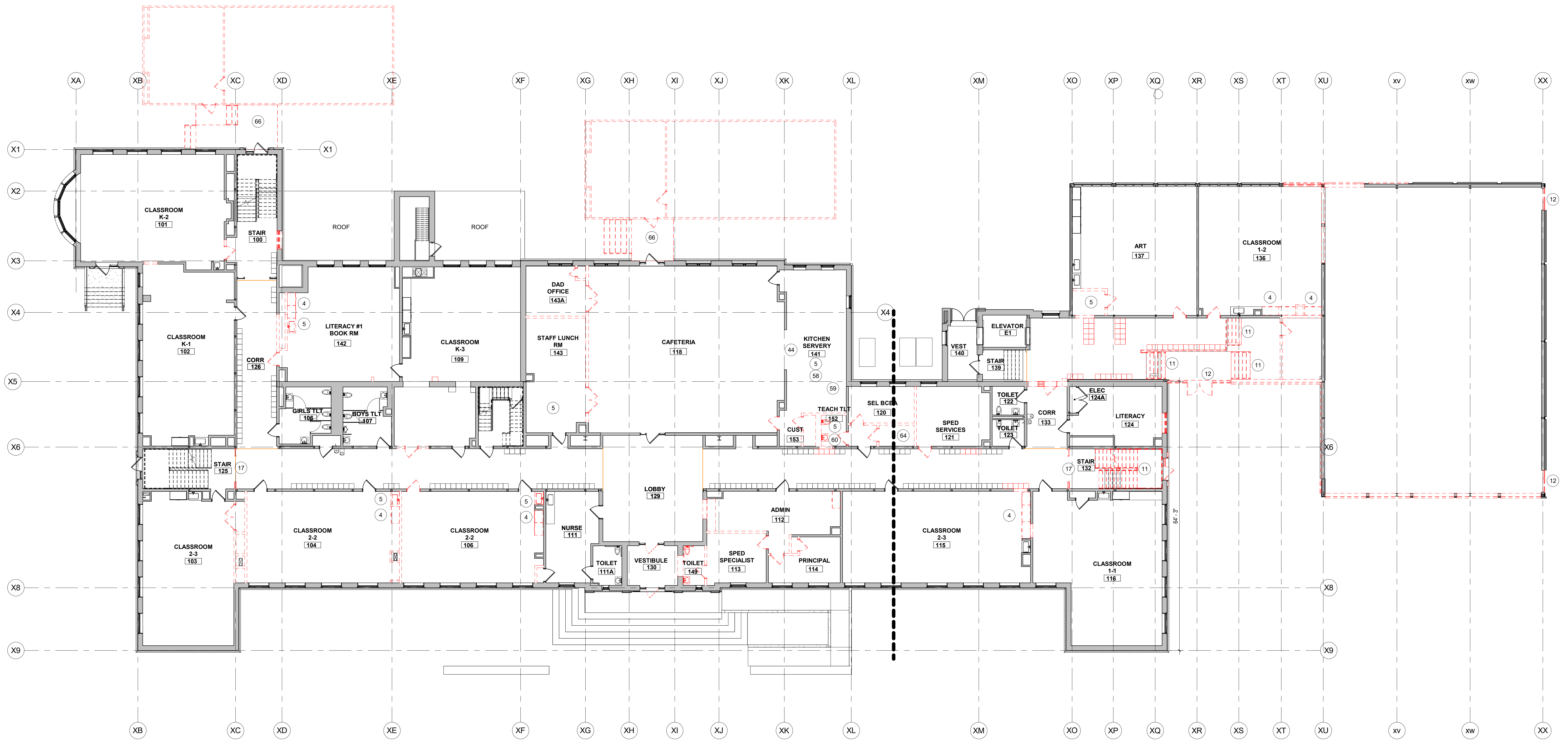
Revisions:

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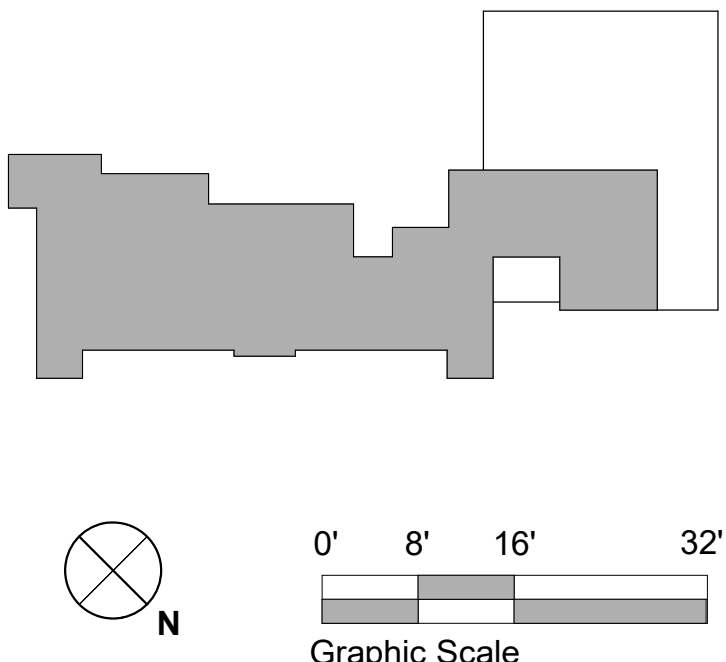
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1 EXIST / DEMO FIRST FLOOR PLAN 3/32" = 1'-0"

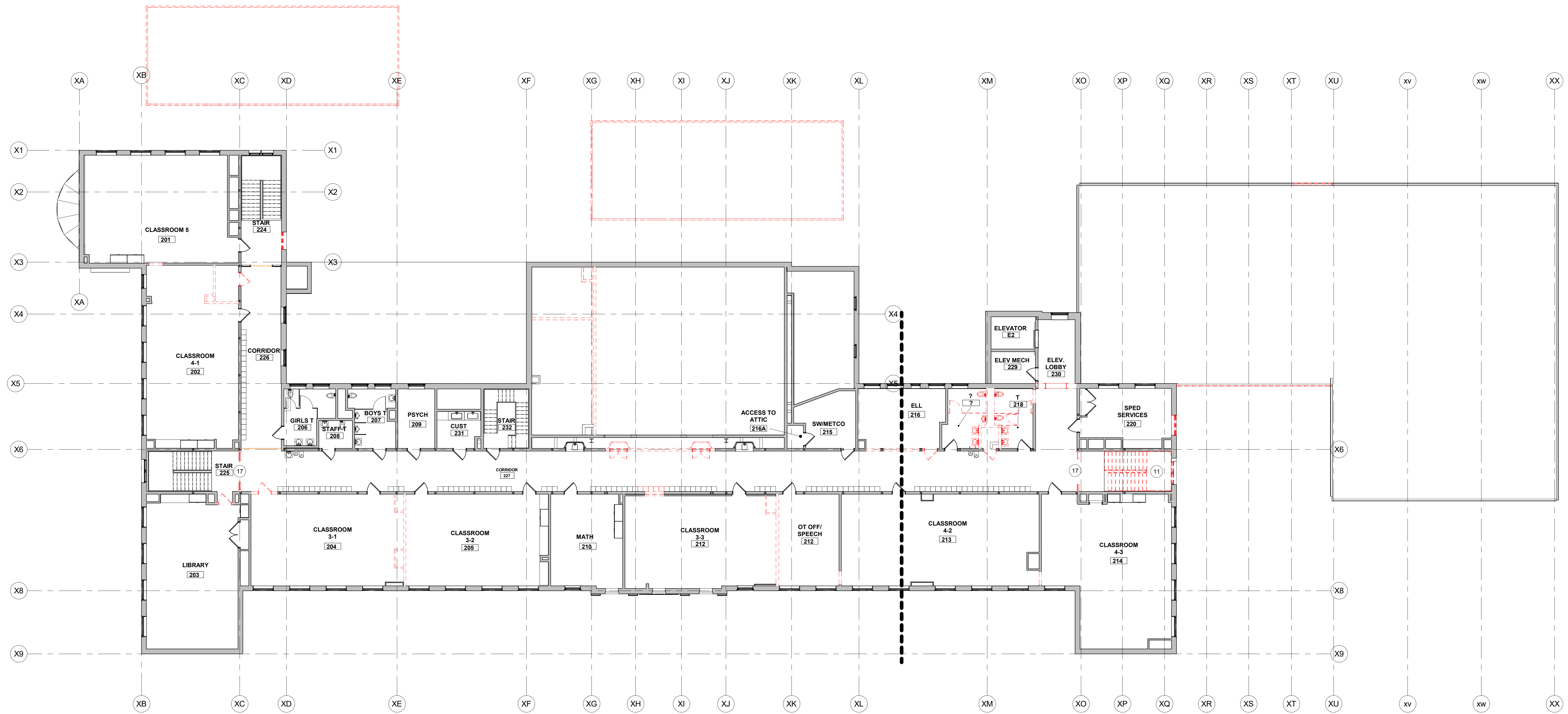
DEMOLITION GENERAL NOTES
1. THE DEMOLITION DRAWINGS INDICATE THE GENERAL EXTENT...

- SELECTIVE REMOVAL KEYNOTE LEGEND
1. DEMOLISH DOOR, FRAME AND HARDWARE IN CMU WALL...
2. DEMOLISH STUD WALL AS SHOWN...



Revisions table with columns for No., Date, and Description.

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1 EXIST / DEMO SECOND FLOOR PLAN
3/32" = 1'-0"

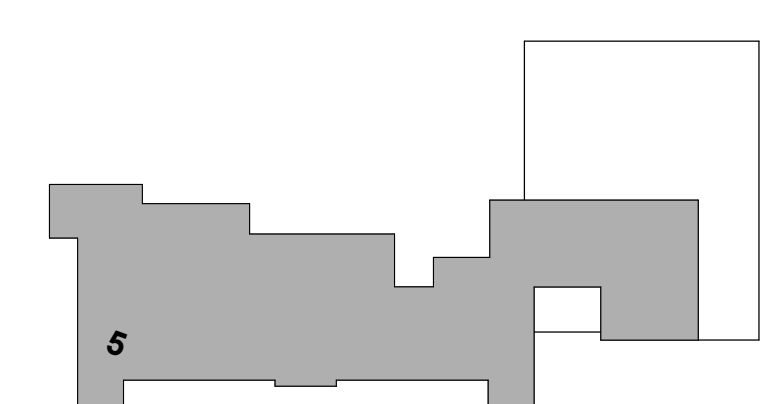
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--- INDICATES DEMOLITION / REMOVAL WORK.

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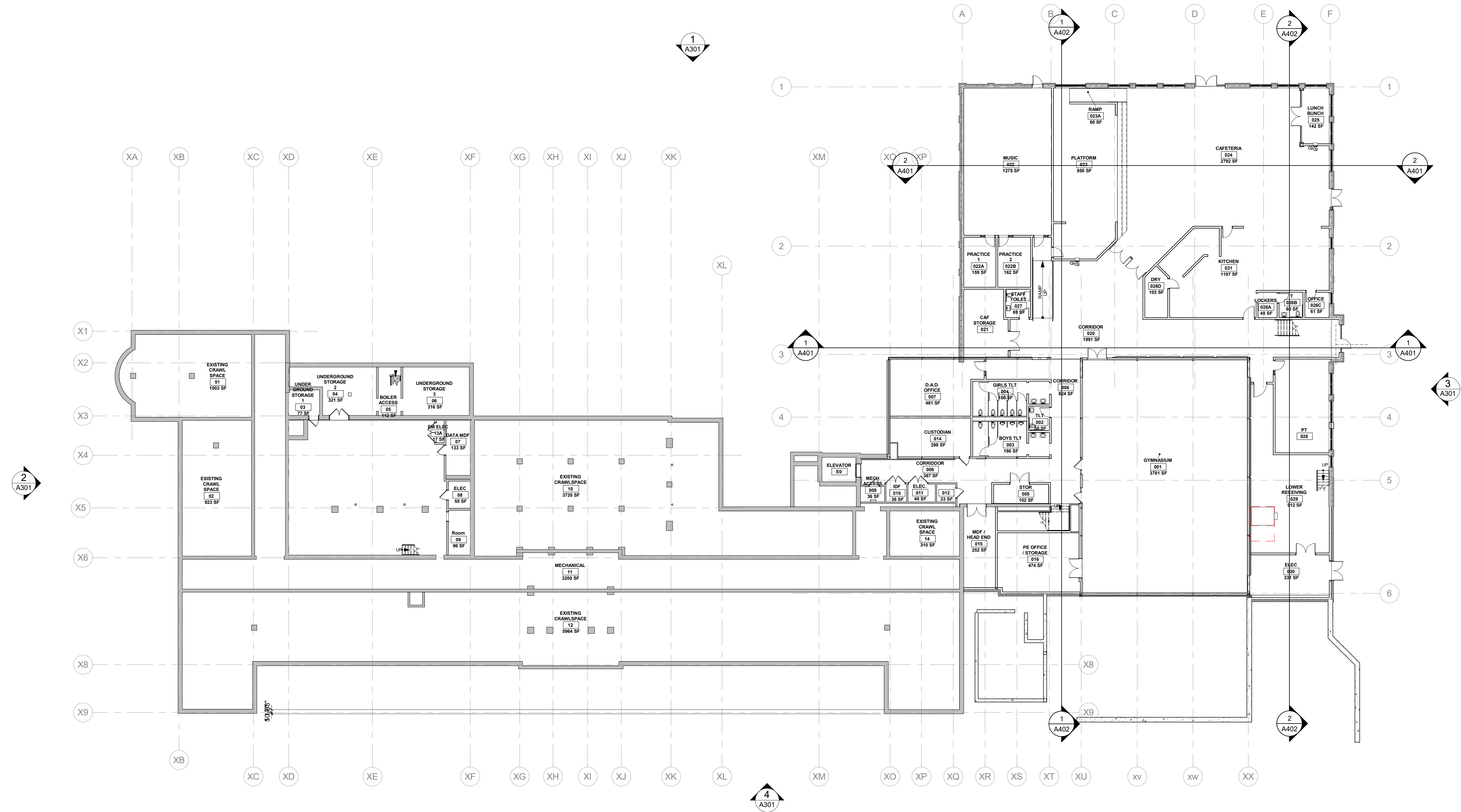
Revisions:

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Site Plan Approval



1 GROUND FLOOR PLAN - OVERALL
1/16" = 1'-0"

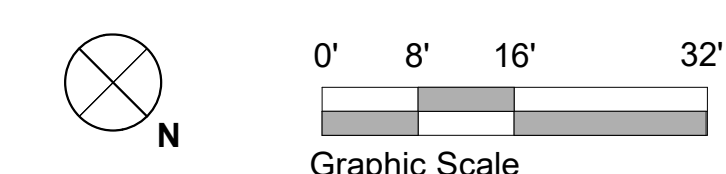
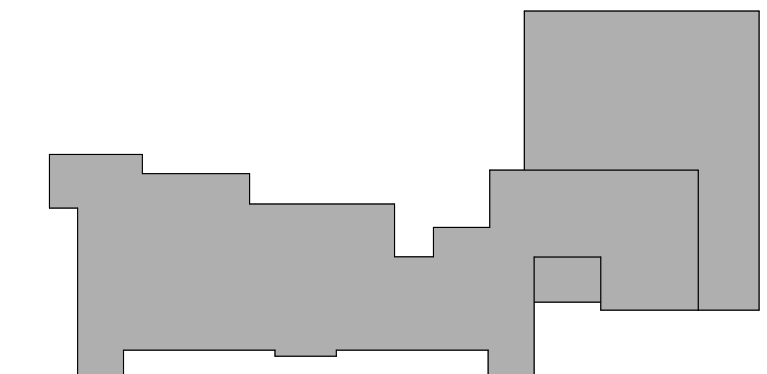
Revisions:

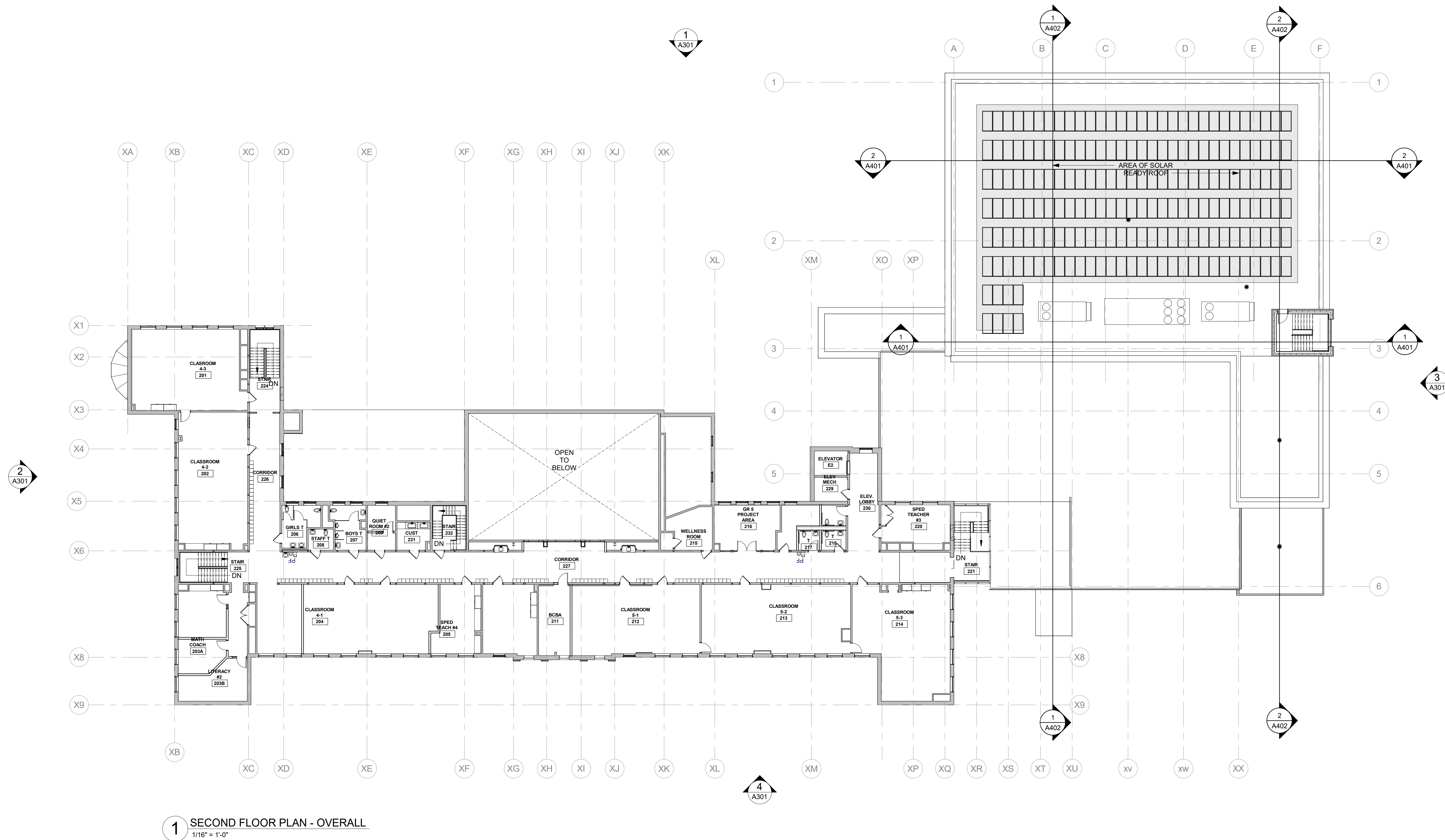
No.	Date	Description

Drawing Scale: 1/16" = 1'-0"

Project No.: NEW2101

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1 SECOND FLOOR PLAN - OVERALL
1/16" = 1'-0"

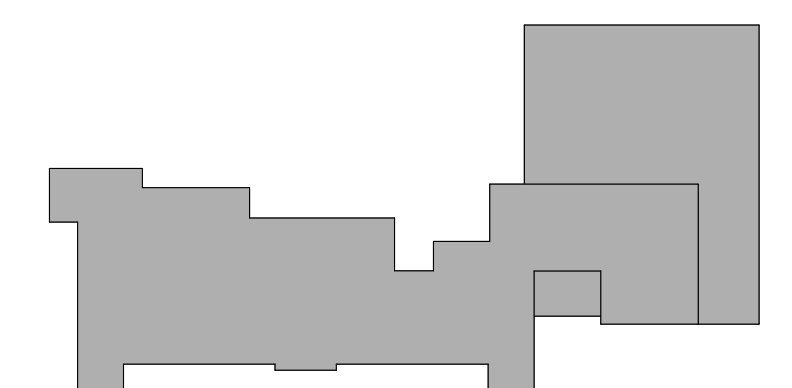
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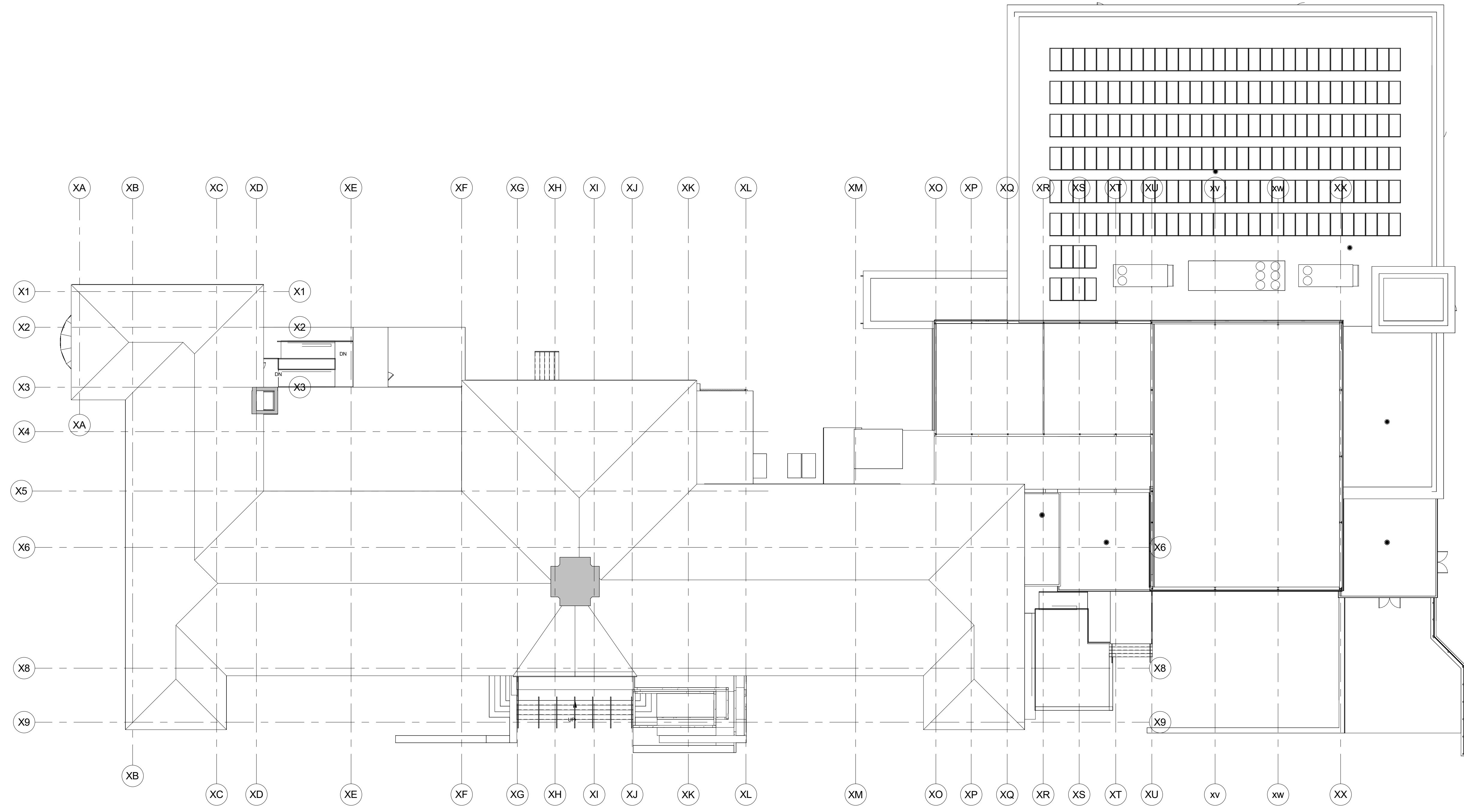
No.	Date	Description

Drawing Scale: 1/16" = 1'-0"

Project No.: NEW2101

Date: March 29, 2024
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1 EXISTING ROOF PLAN

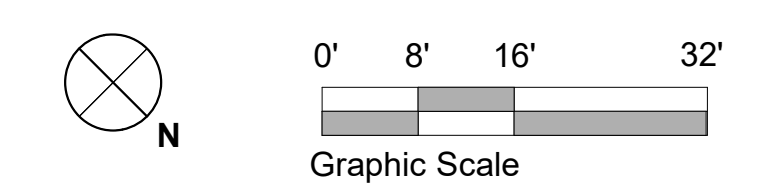
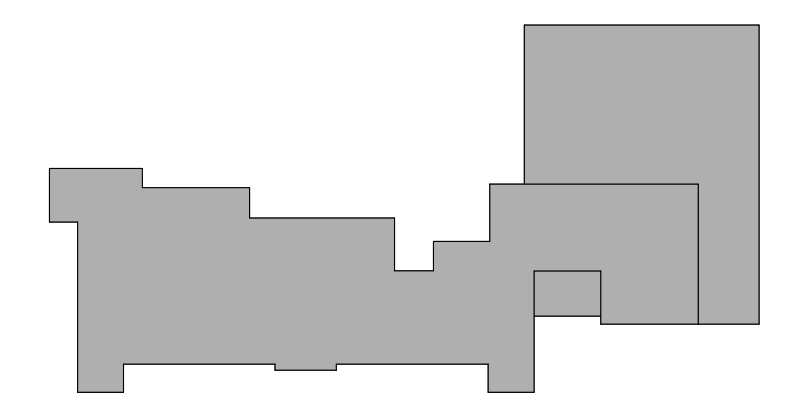
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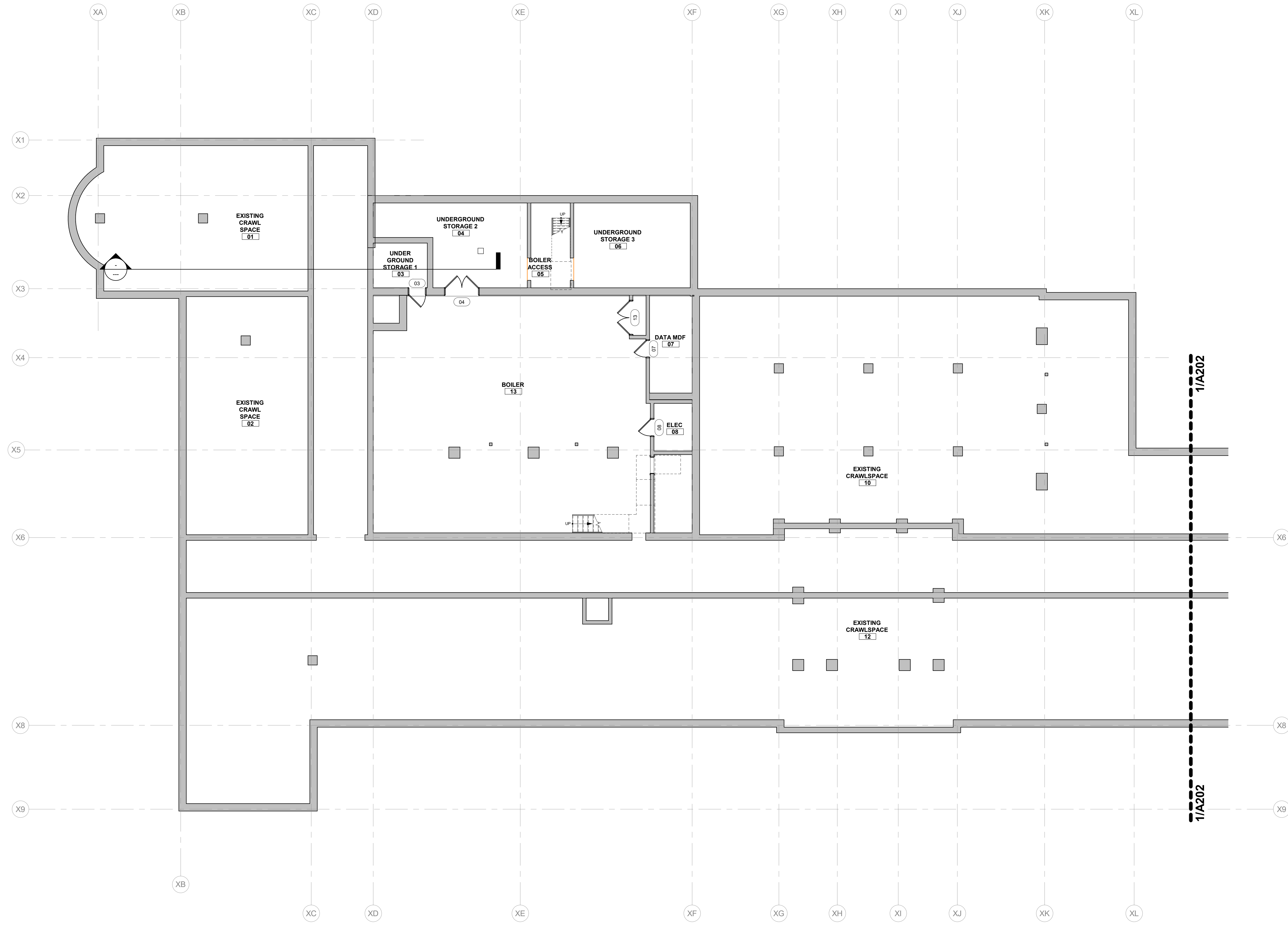
No.	Date	Description

Drawing Scale: 1/16" = 1'-0"

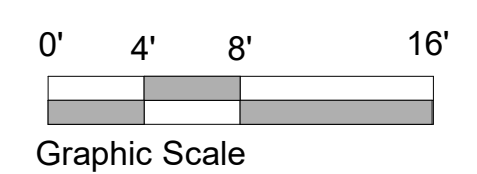
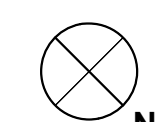
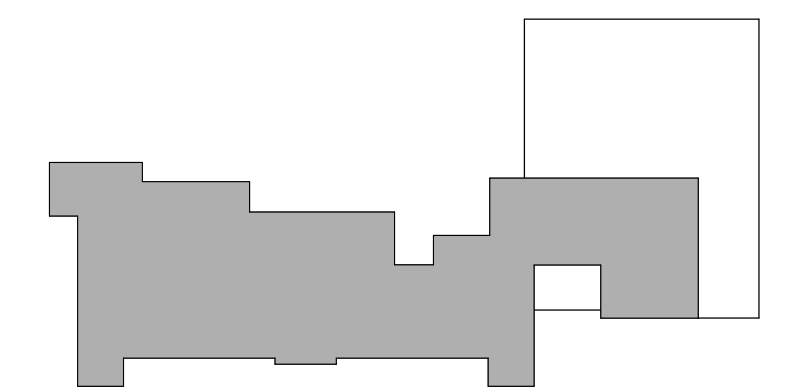
Project No.: NEW2101

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1 GROUND FLOOR PLAN - PART A



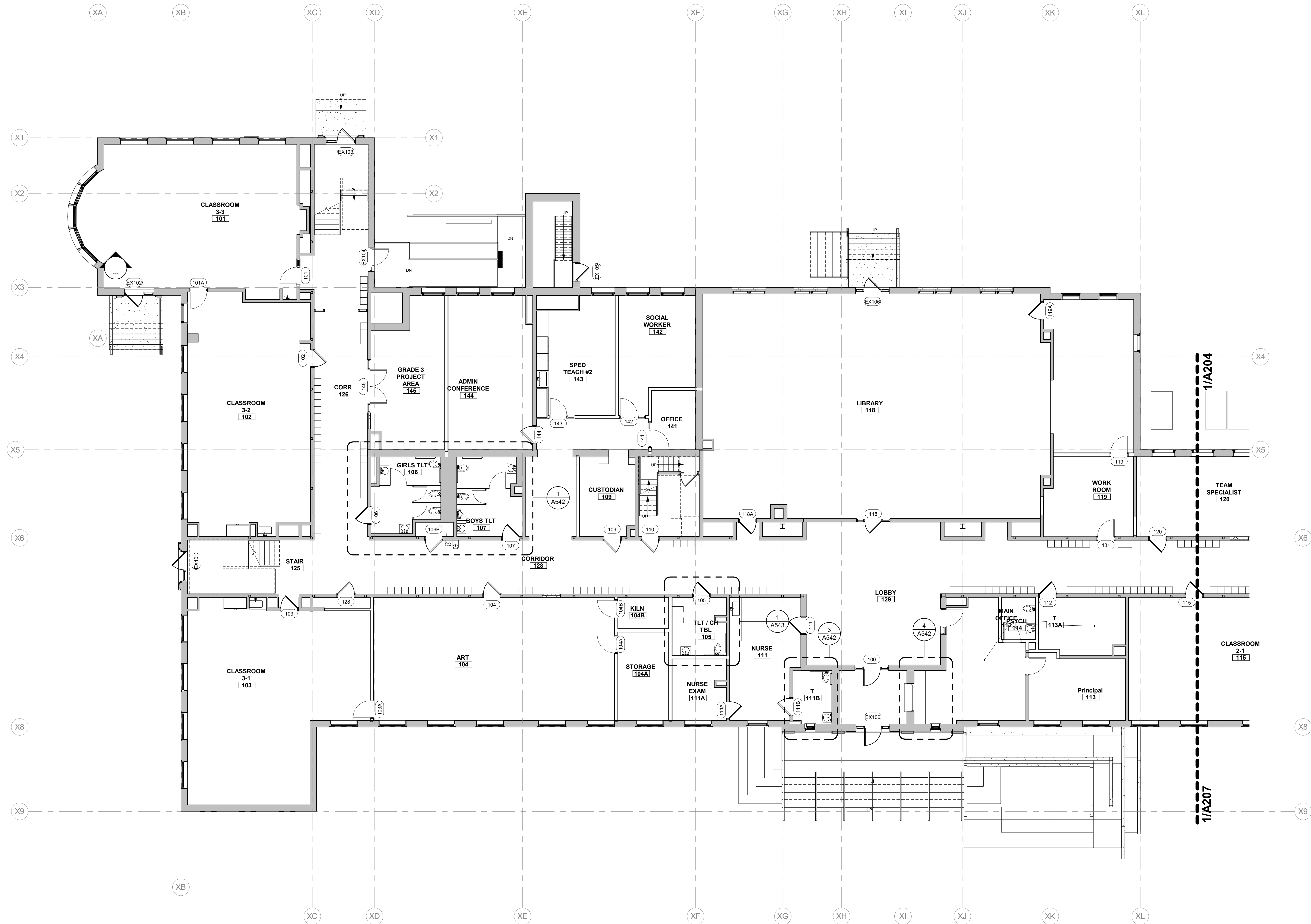
Revisions:

No.	Date	Description

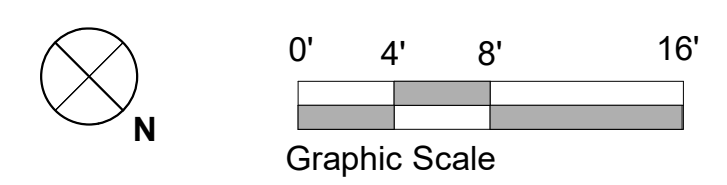
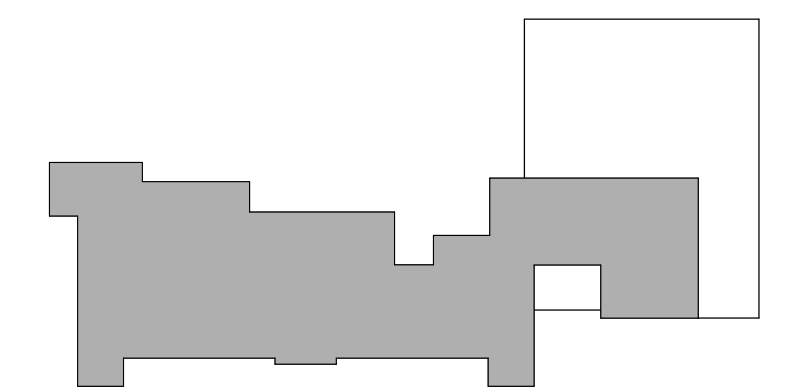
Drawing Scale: 1/8" = 1'-0"

Project No.: NEW2101

Date: March 29, 2024
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1 FIRST FLOOR PLAN - PART A



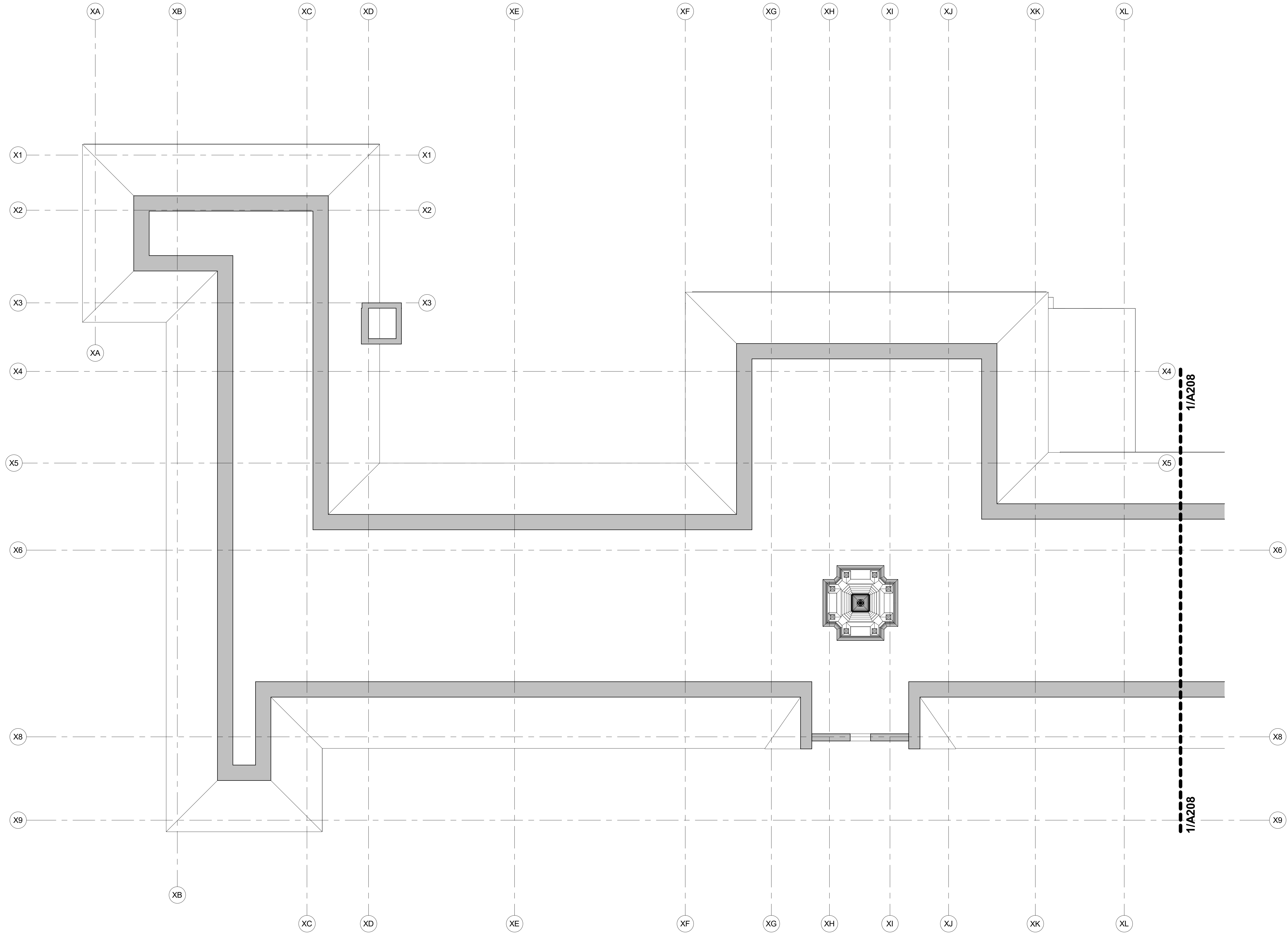
Revisions:

No.	Date	Description

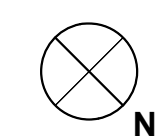
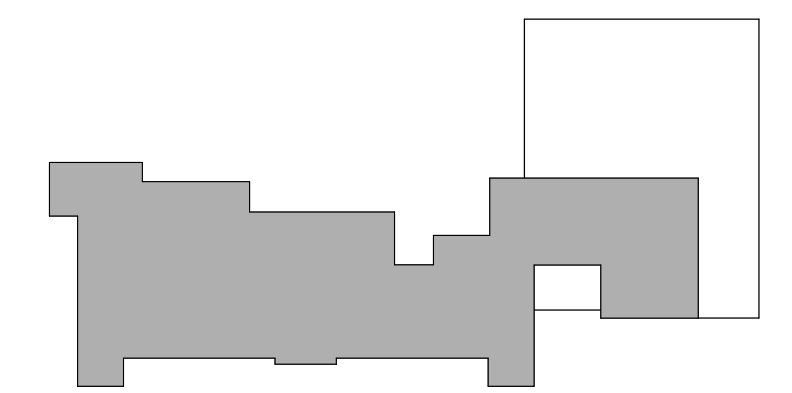
Drawing Scale: 1/8" = 1'-0"

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1 ATTIC FLOOR PLAN - PART A
1/8" = 1'-0"



0' 4' 8' 16'
Graphic Scale

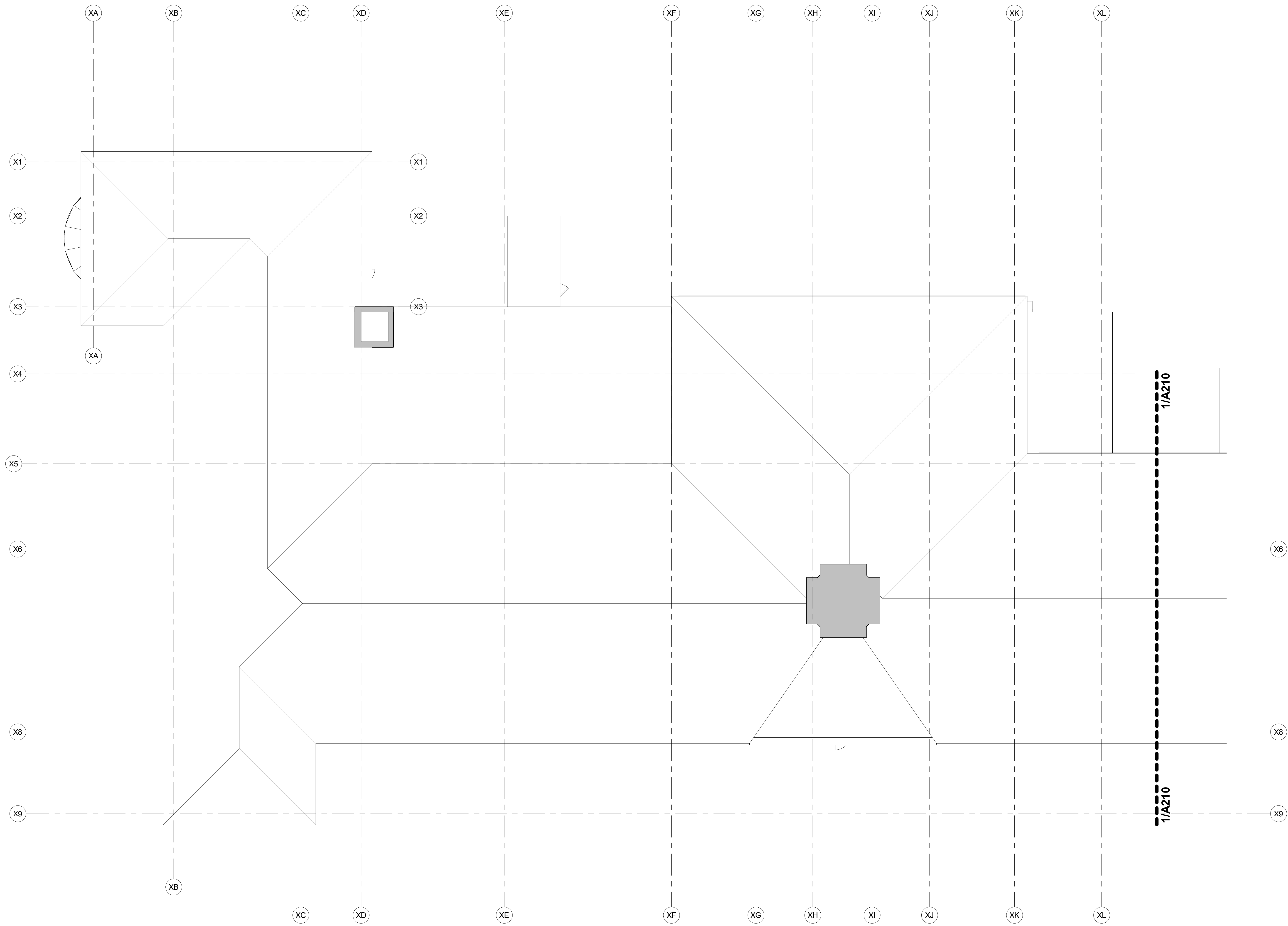
Revisions:

No.	Date	Description

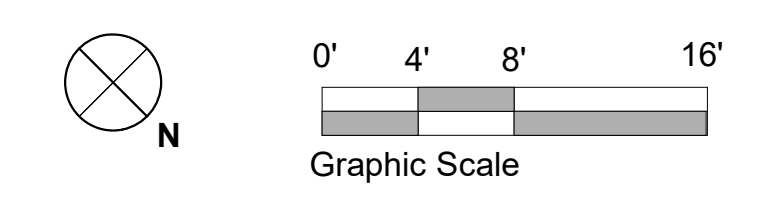
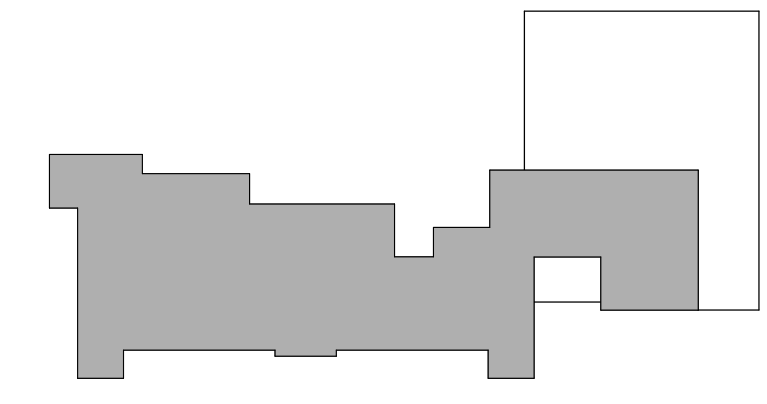
Drawing Scale: 1/8" = 1'-0"

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1 ROOF PLAN - PART A
1/8" = 1'-0"



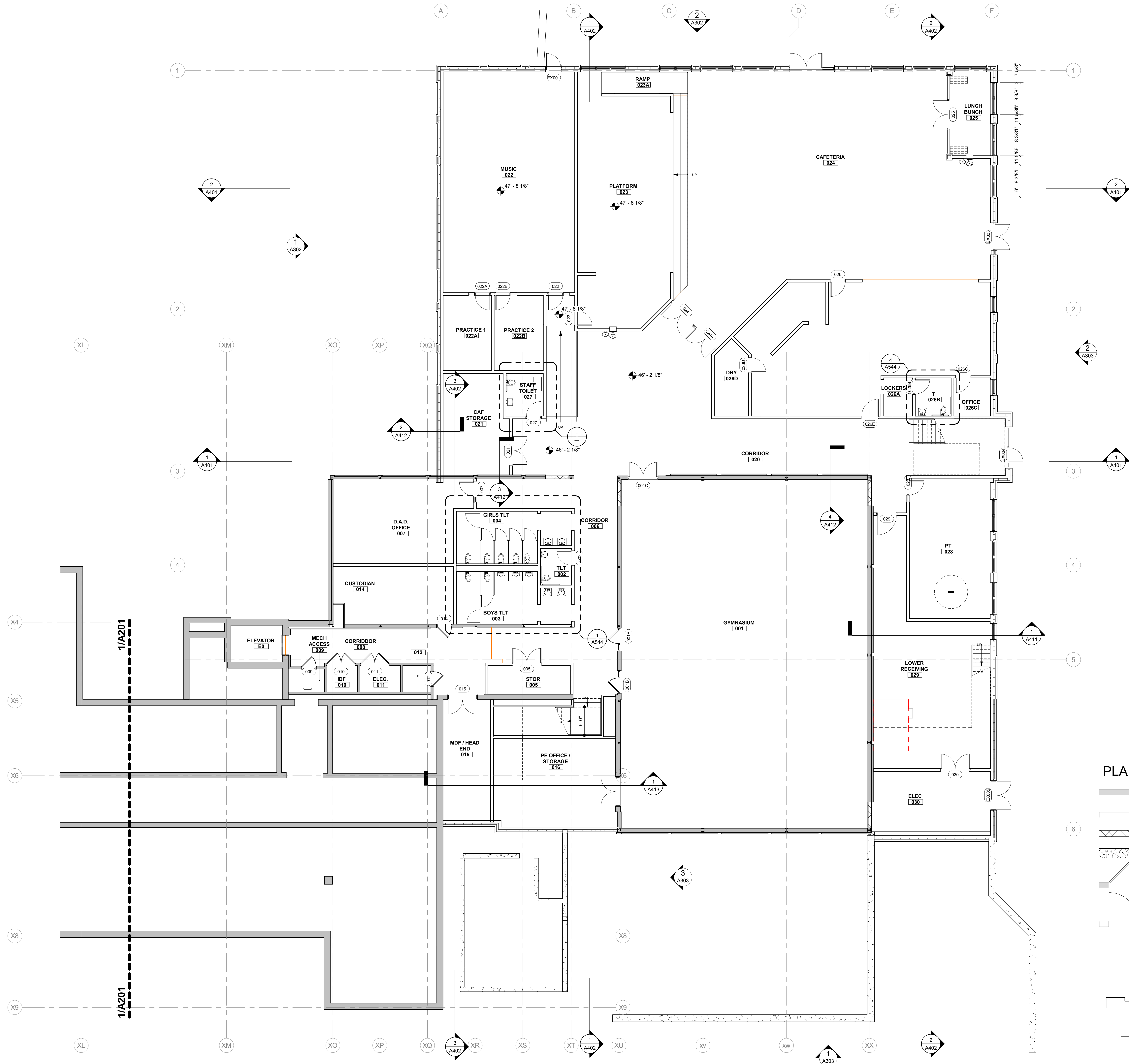
Revisions:

No.	Date	Description

Drawing Scale: 1/8" = 1'-0"

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PLAN LEGEND

- EXIST WALL TO REMAIN
REFER TO PARTITION TYPE
- NEW WALL -
GWB on METAL STUD
- NEW WALL - CMU
- NEW WALL - CONCRETE
- EXIST DOOR OPENING
- NEW DOOR OPENING

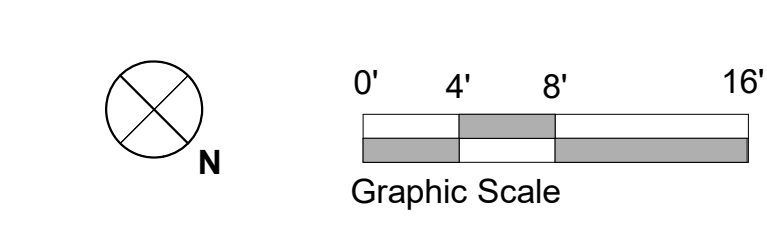
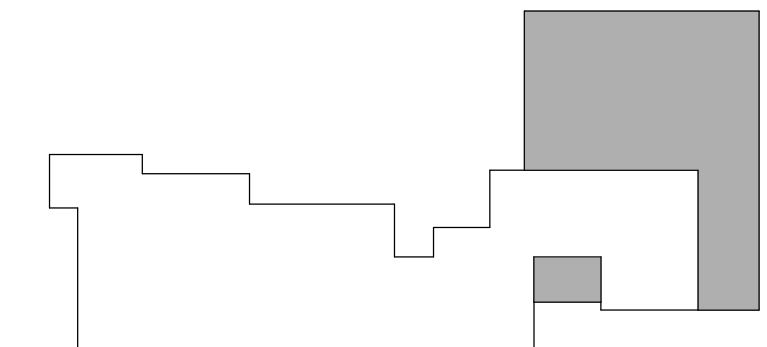
Revisions:

No.	Date	Description

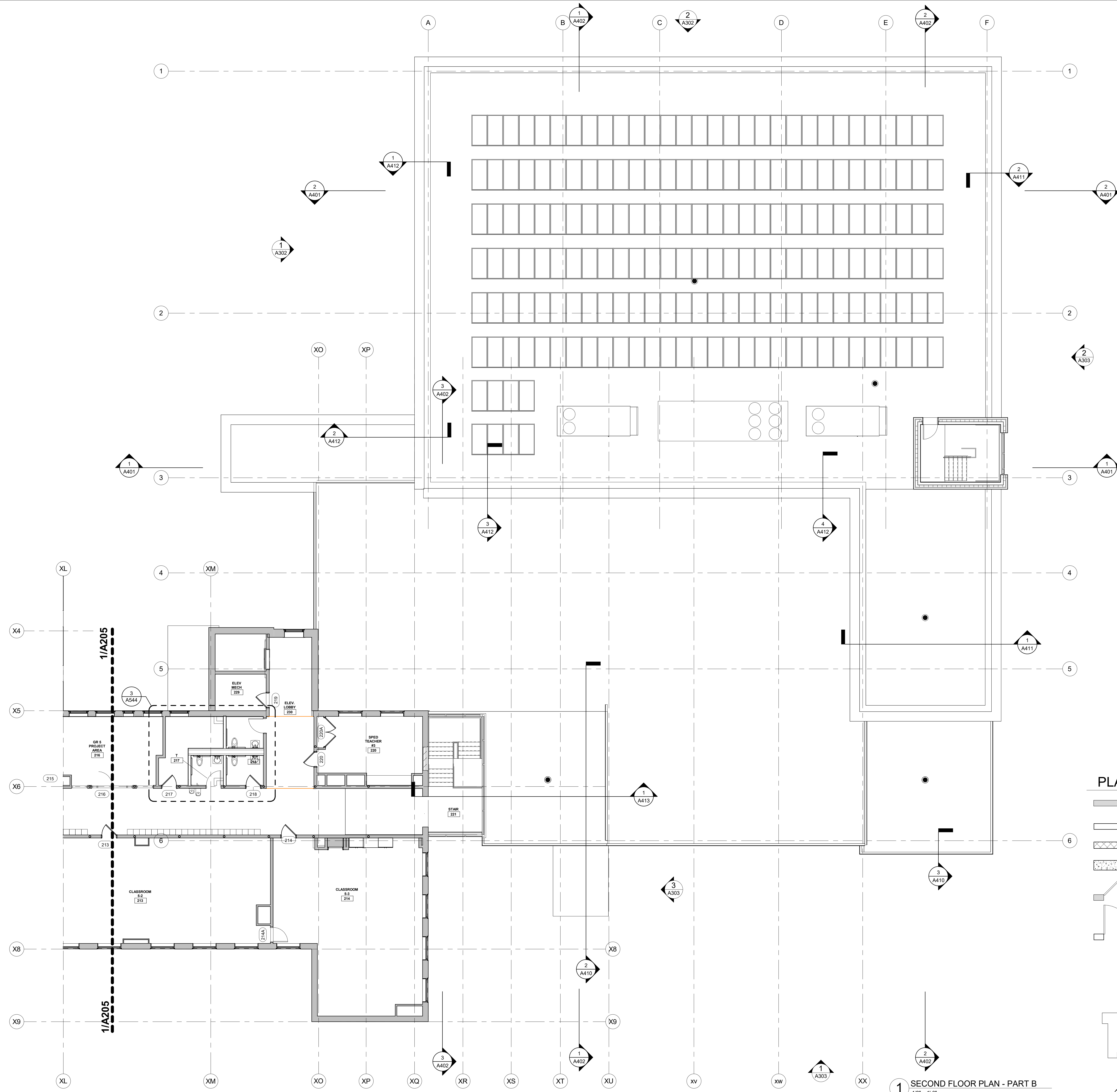
Drawing Scale: As indicated

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1 GROUND FLOOR PLAN - PART B
1/8" = 1'-0"



PLAN LEGEND

- EXIST WALL TO REMAIN
REFER TO PARTITION TYPE
- NEW WALL -
GWB on METAL STUD
- NEW WALL - CMU
- NEW WALL - CONCRETE
- EXIST DOOR OPENING
- NEW DOOR OPENING

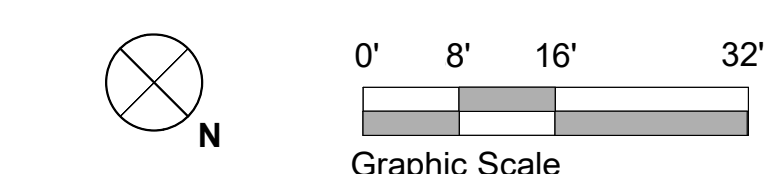
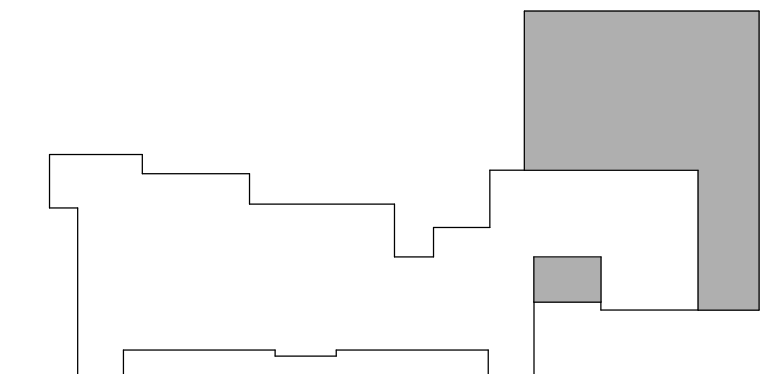
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No.	Date	Description

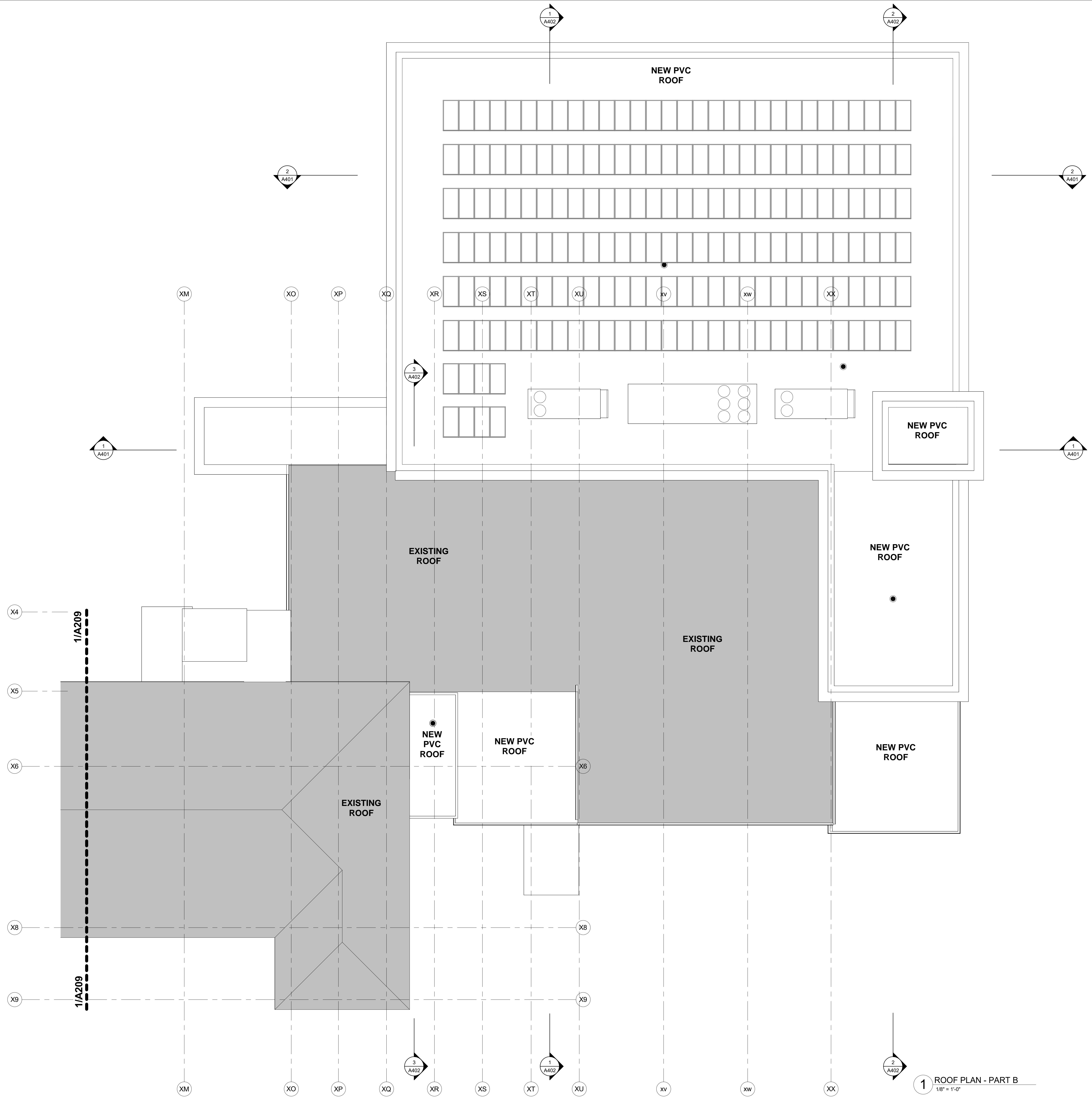
Drawing Scale: As indicated

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1 SECOND FLOOR PLAN - PART B
1/8" = 1'-0"



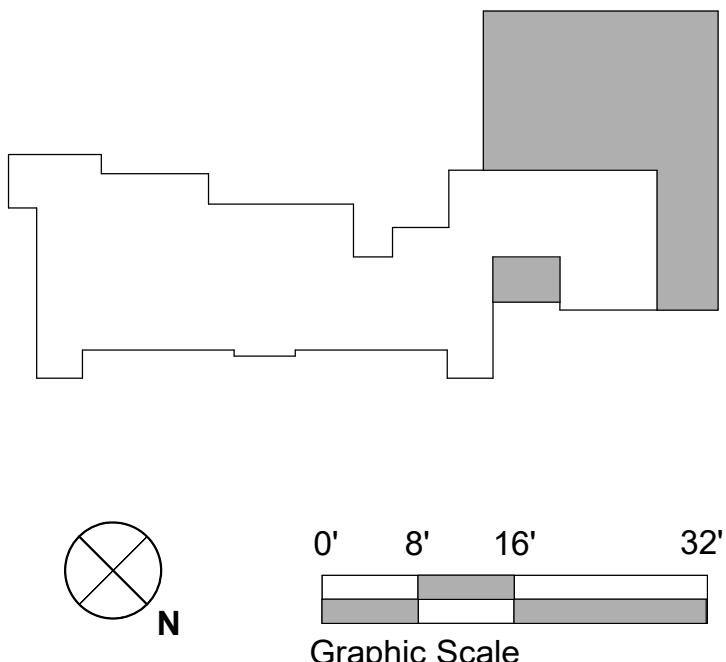
Revisions:

No.	Date	Description

Drawing Scale: 1/8" = 1'-0"

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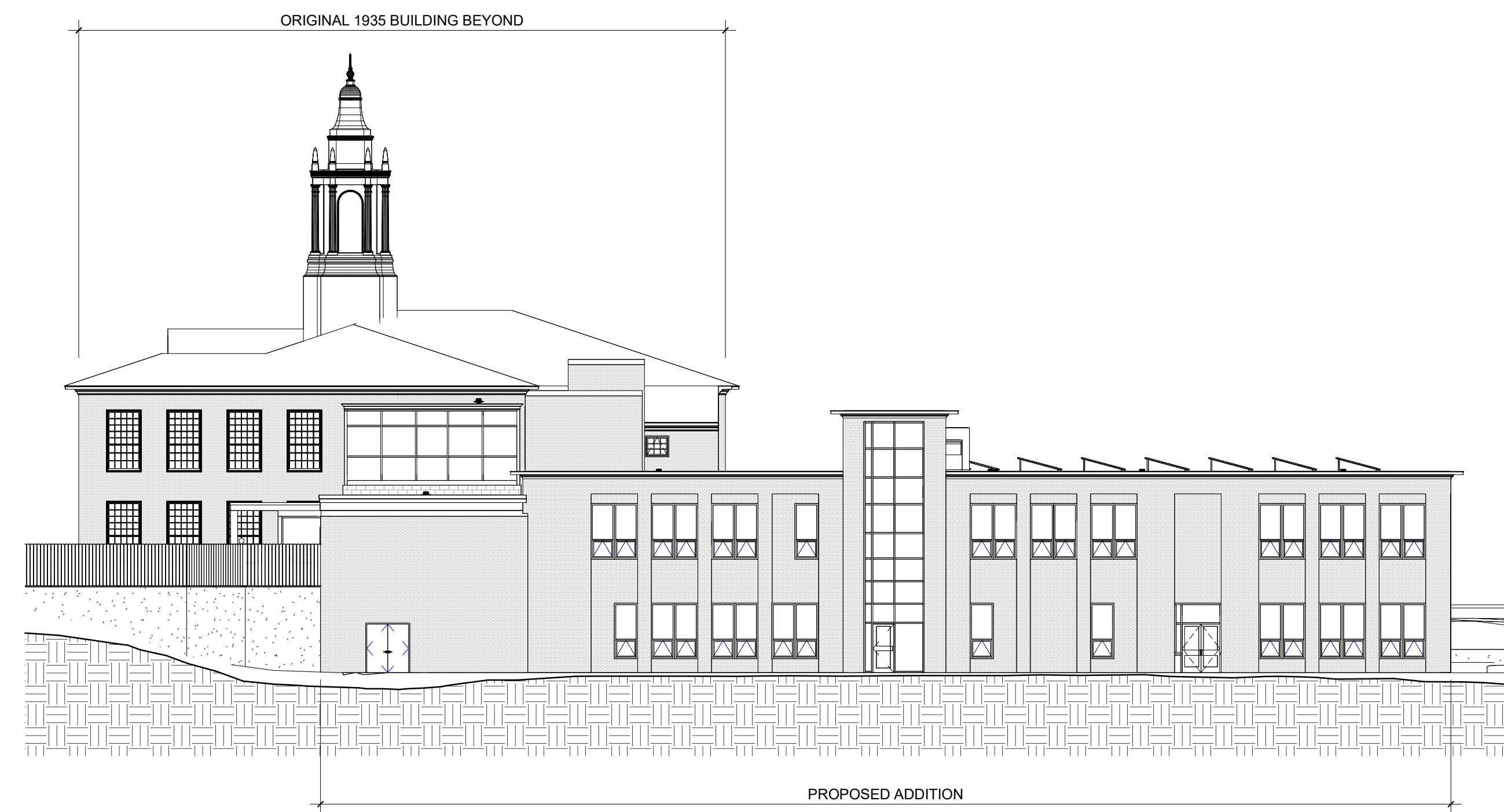
1 ROOF PLAN - PART B
1/8" = 1'-0"



4 NORTH EXTERIOR ELEVATION - OVERALL
1/16" = 1'-0"



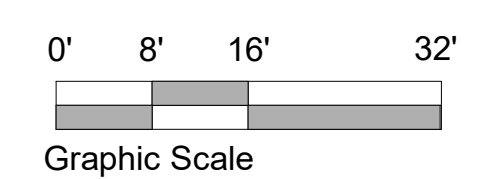
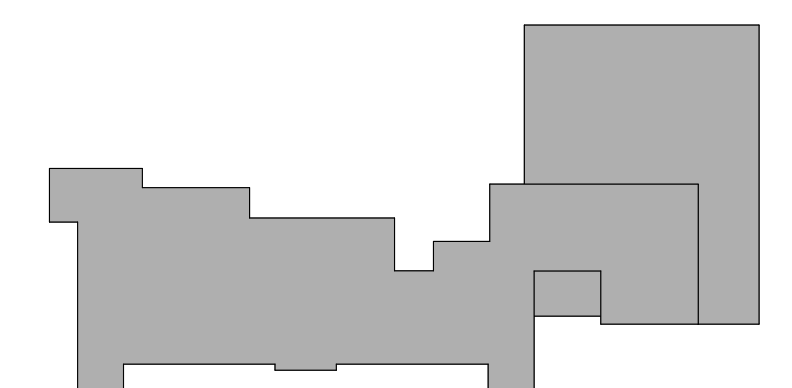
2 EAST EXTERIOR ELEVATION - OVERALL
1/16" = 1'-0"



3 WEST EXTERIOR ELEVATION - OVERALL
1/16" = 1'-0"



1 SOUTH EXTERIOR ELEVATION - OVERALL
1/16" = 1'-0"



Horace Mann Elementary School
225 Nevada Street, Newton Massachusetts

EXTERIOR ELEVATIONS - OVERALL

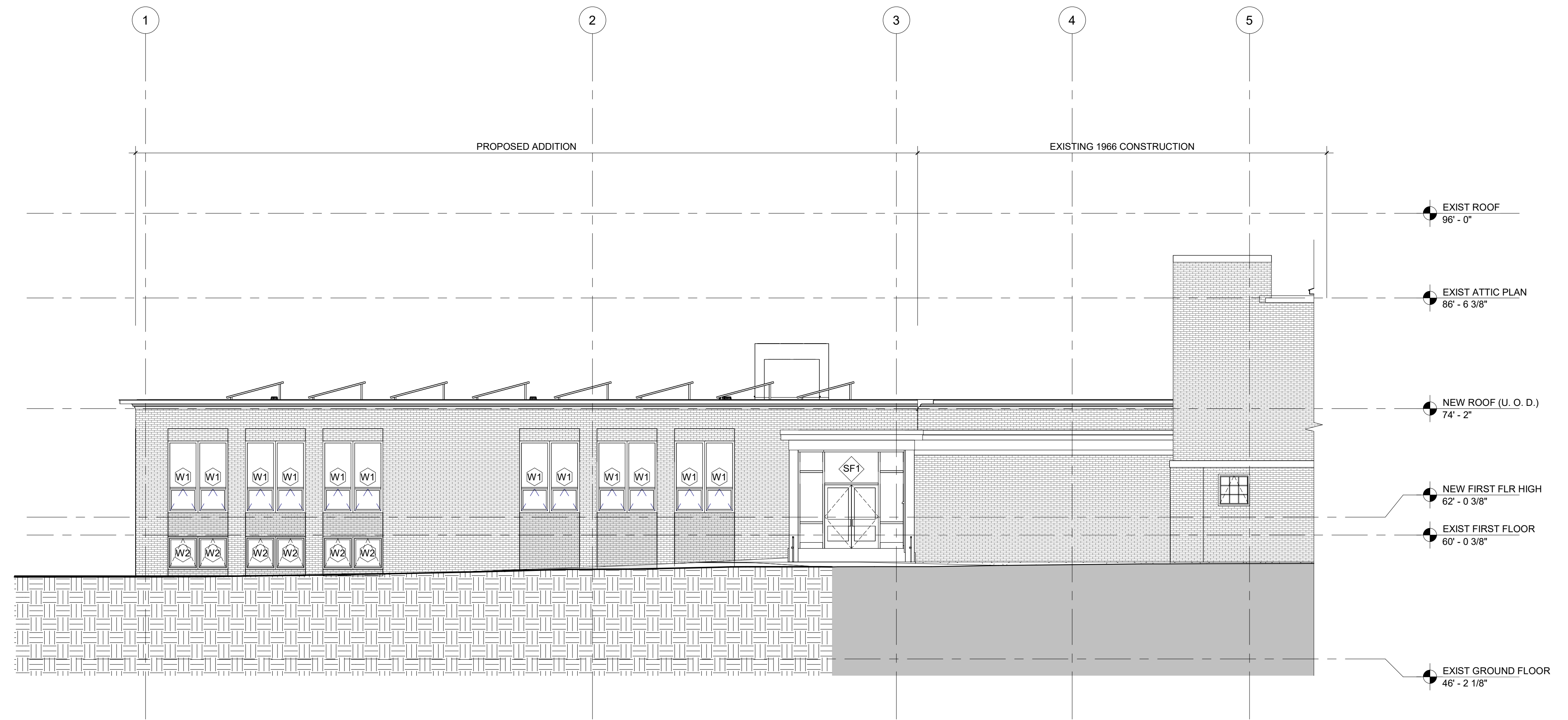
Revisions:

No.	Date	Description

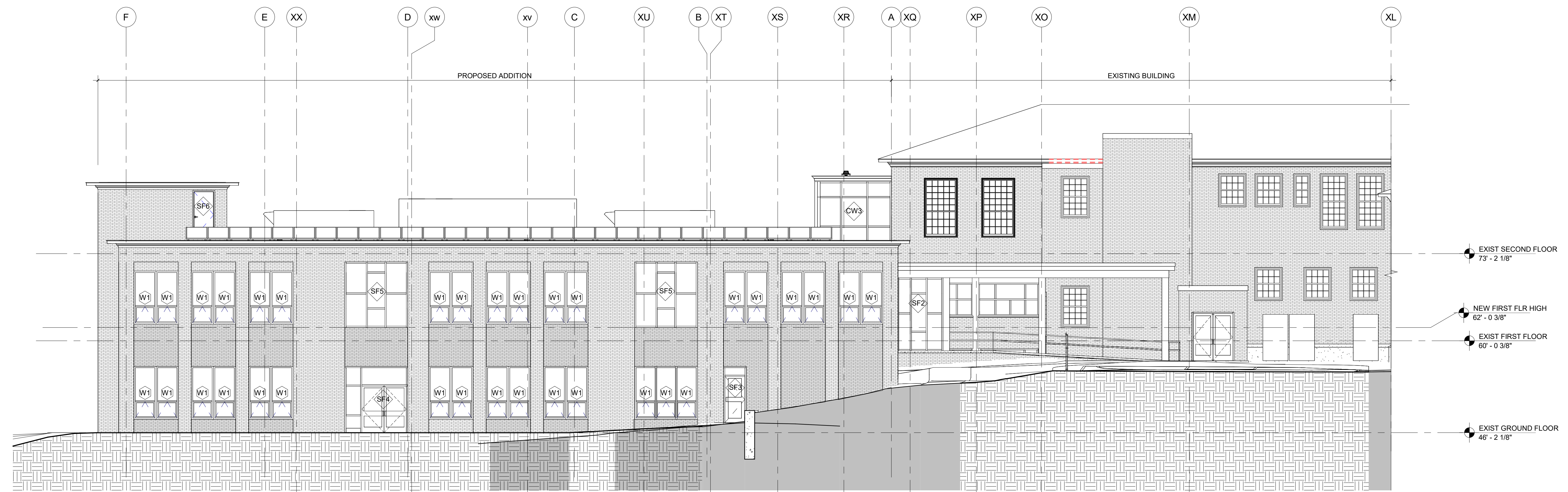
Drawing Scale: 1/16" = 1'-0"

Project No.: NEW2101

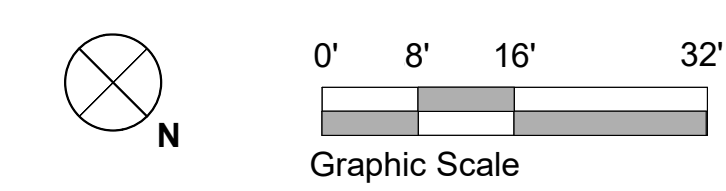
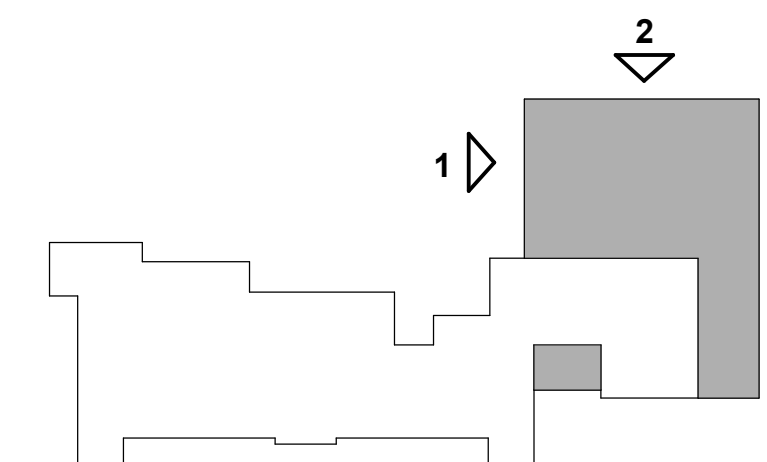
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1 EAST EXTERIOR ELEVATION - ADDITION
1/8" = 1'-0"



2 SOUTH EXTERIOR ELEVATION - ADDITION
1/8" = 1'-0"



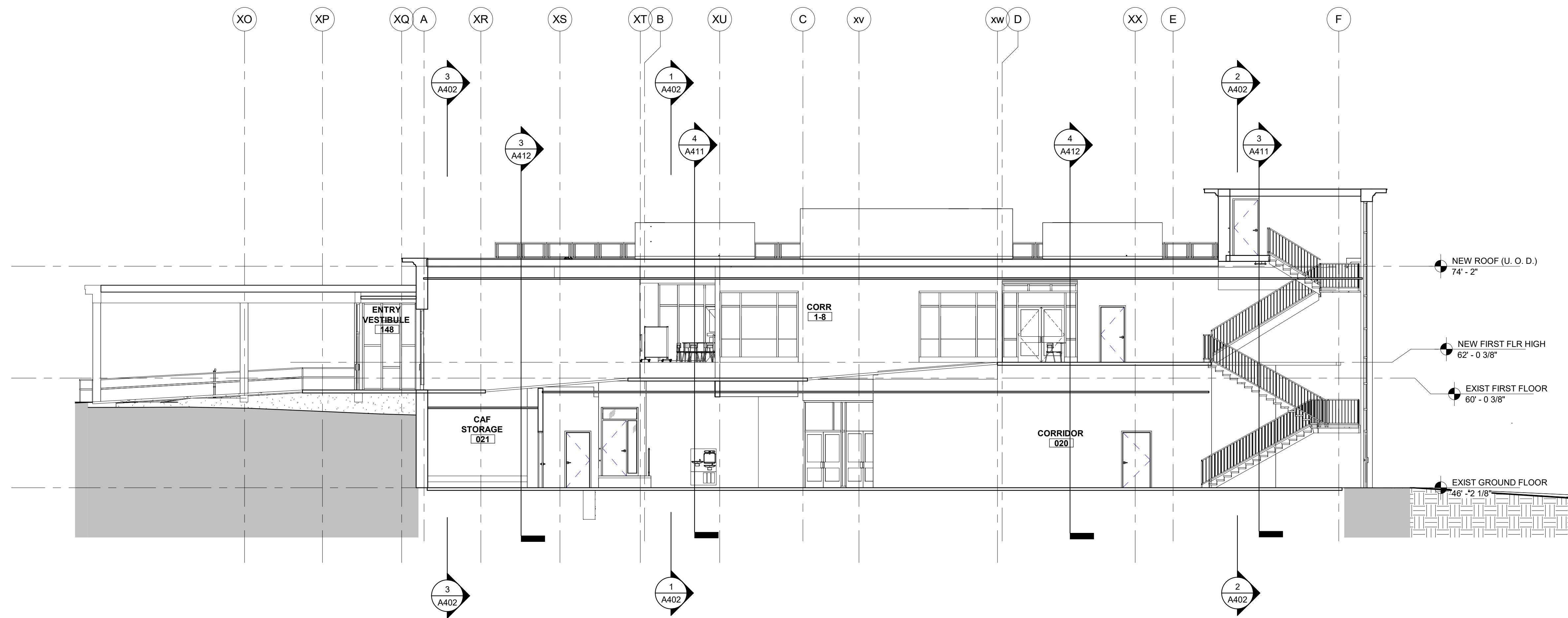
Revisions:

No.	Date	Description

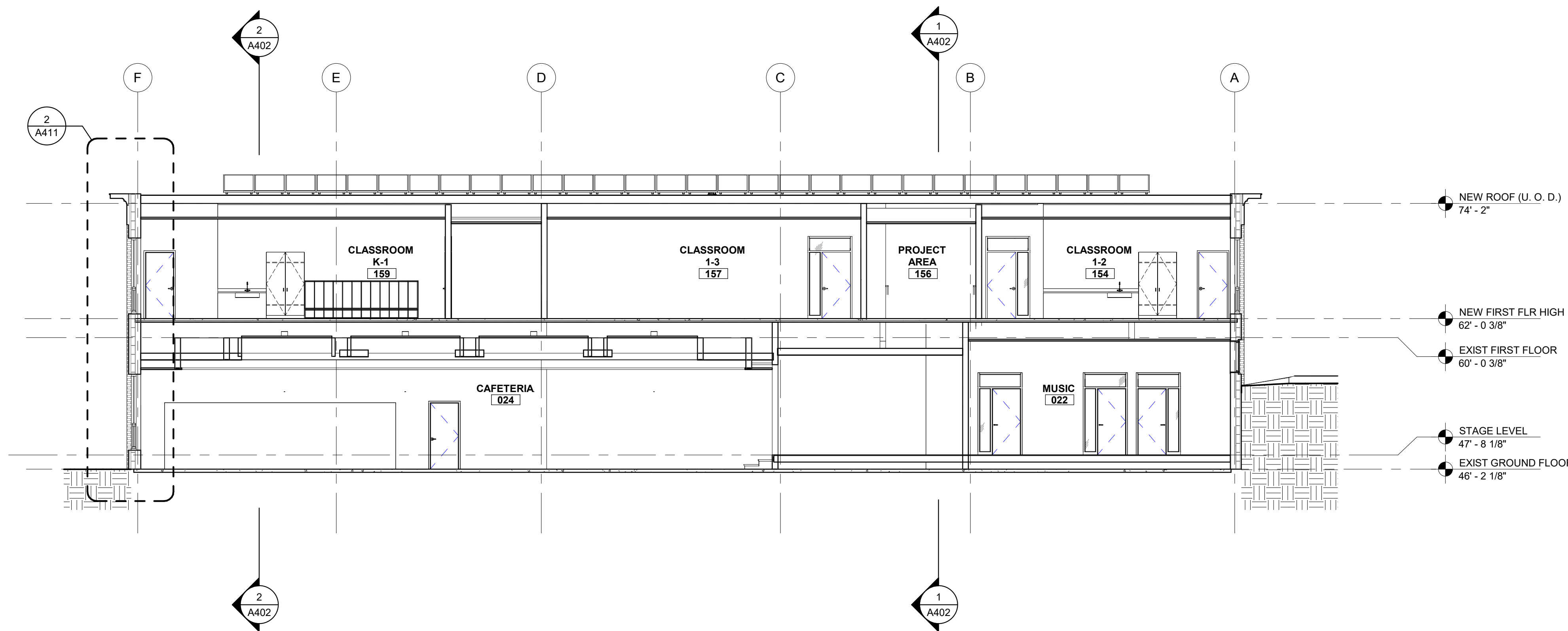
Drawing Scale: 1/8" = 1'-0"

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1 BUILDING SECTION
1/8" = 1'-0"



2 BUILDING SECTION
1/8" = 1'-0"

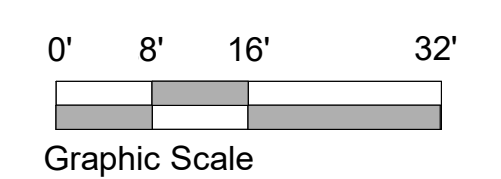
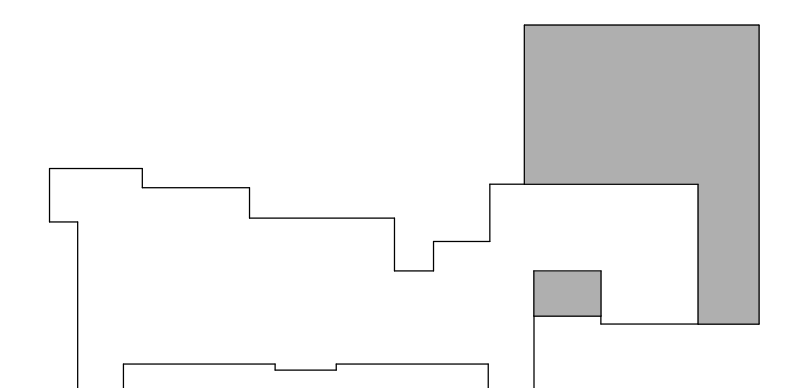
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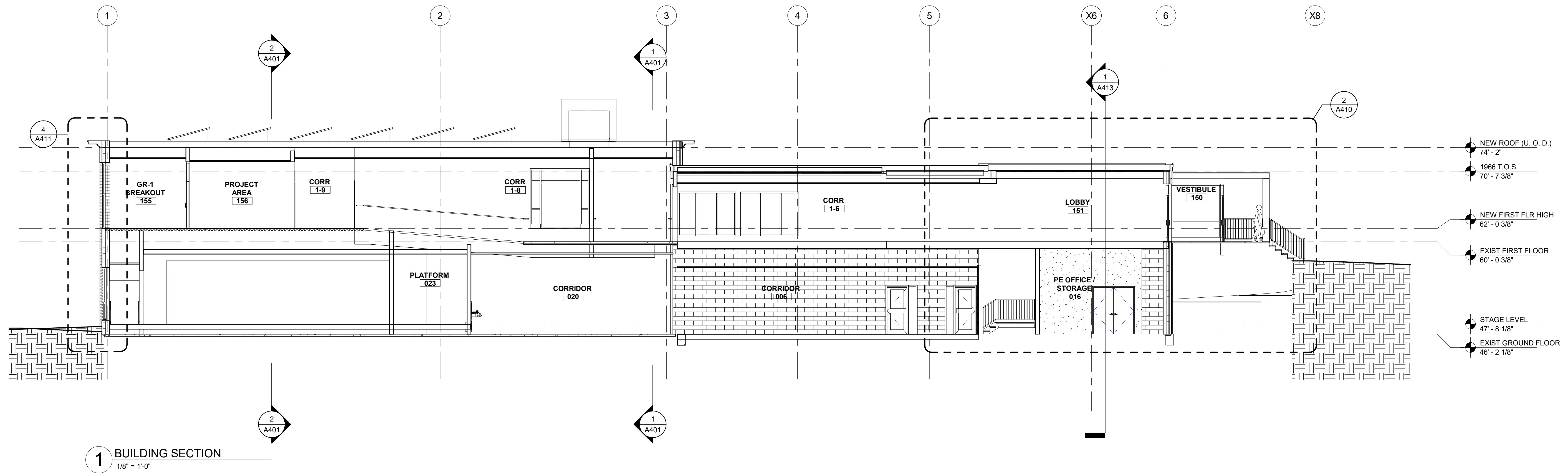
No.	Date	Description

Drawing Scale: 1/8" = 1'-0"

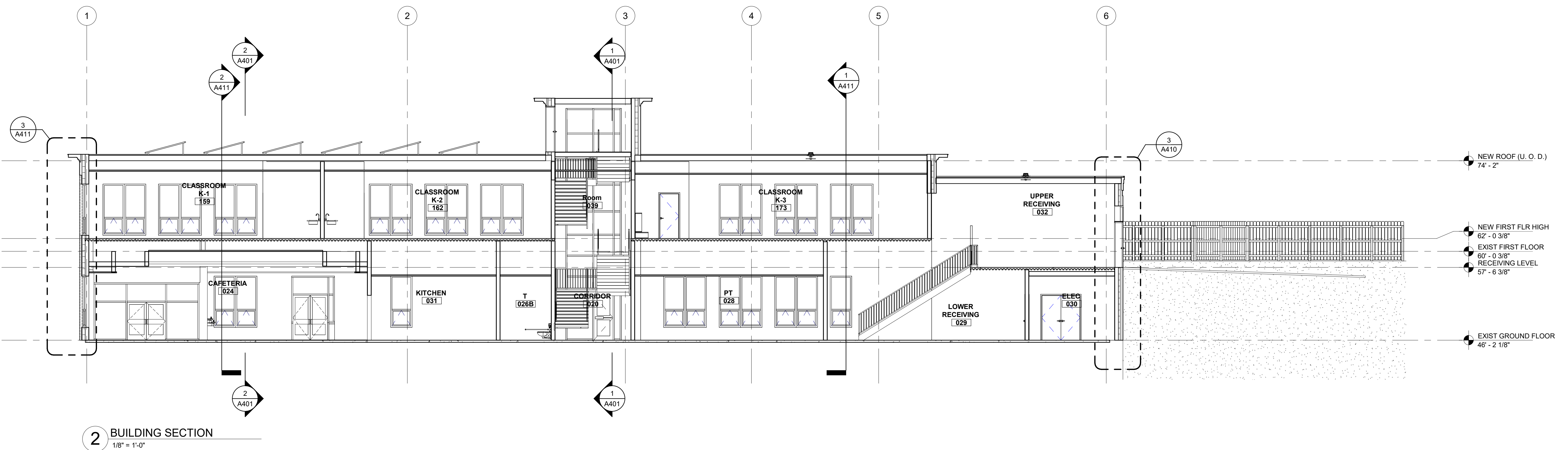
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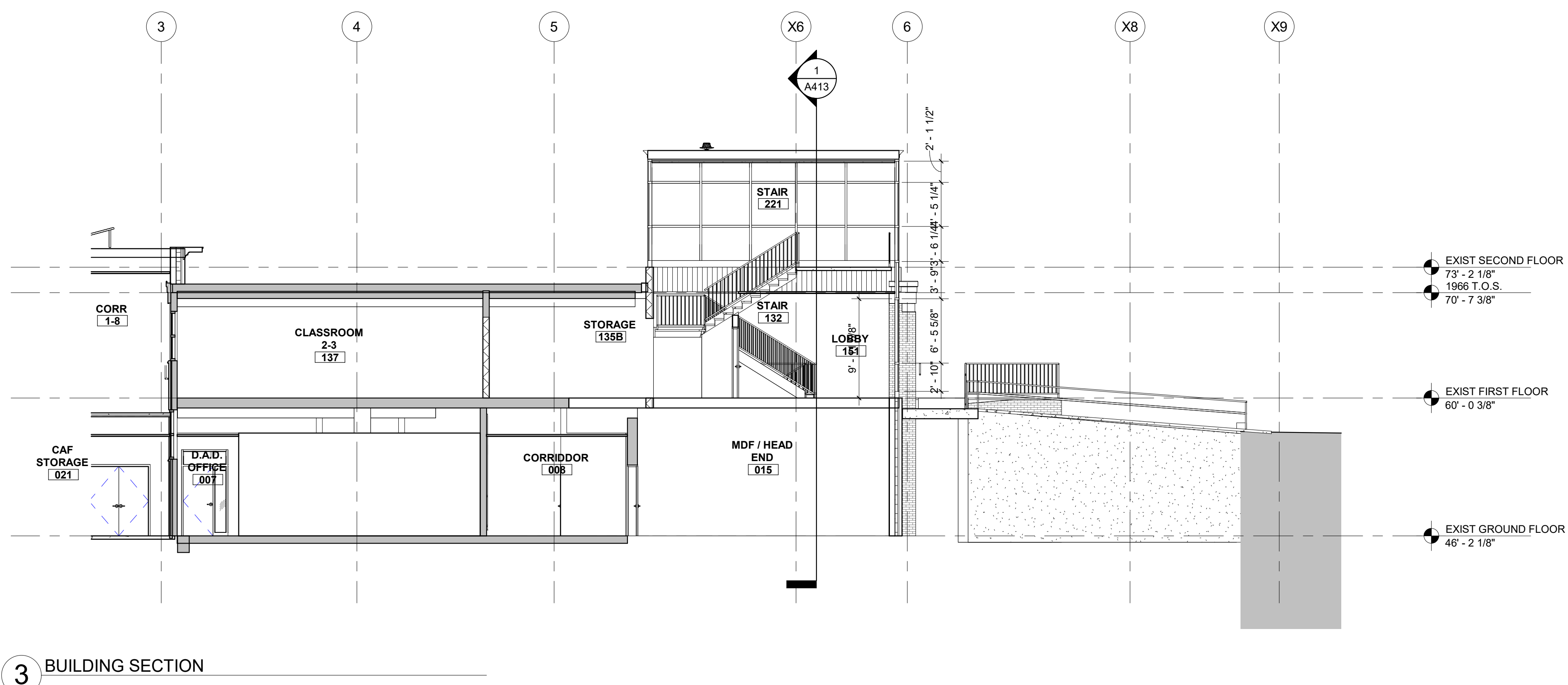




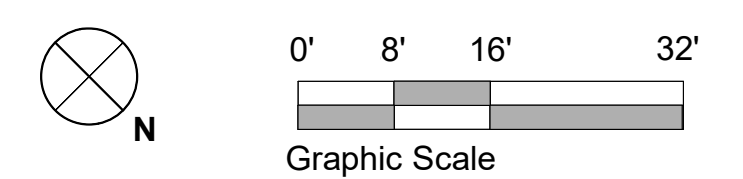
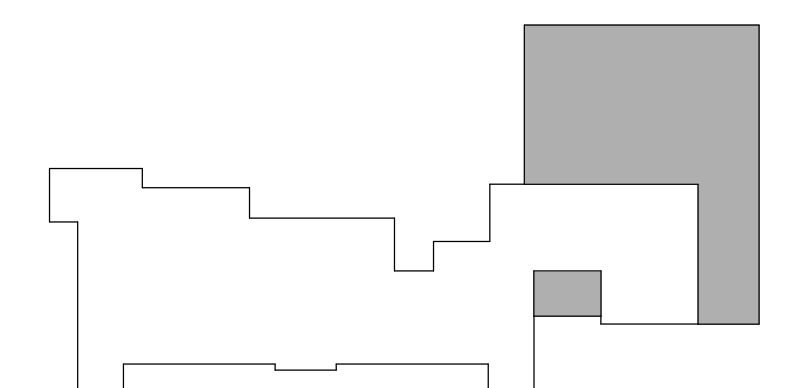
1 BUILDING SECTION
1/8" = 1'-0"



2 BUILDING SECTION
1/8" = 1'-0"



3 BUILDING SECTION



Revisions:

No.	Date	Description

Drawing Scale: 1/8" = 1'-0"

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Department Legend

- Art & Music
- Circulation
- Cust, Maint, Toilets
- Dining & Food Service
- Health & Phys Ed
- Other / Extended Day
- Platform
- Special Education



1 GROUND FLOOR PLAN - PROGRAMMING
1/16" = 1'-0"

Horace Mann Elementary School
225 Nevada Street, Newton Massachusetts

GROUND FLOOR PROGRAMMING PLAN - OVERALL

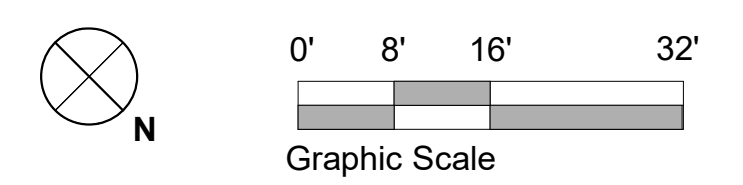
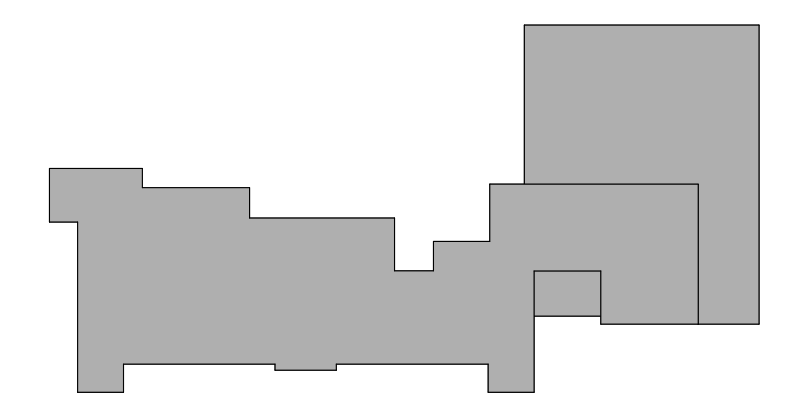
Revisions:

No.	Date	Description

Drawing Scale: 1/16" = 1'-0"

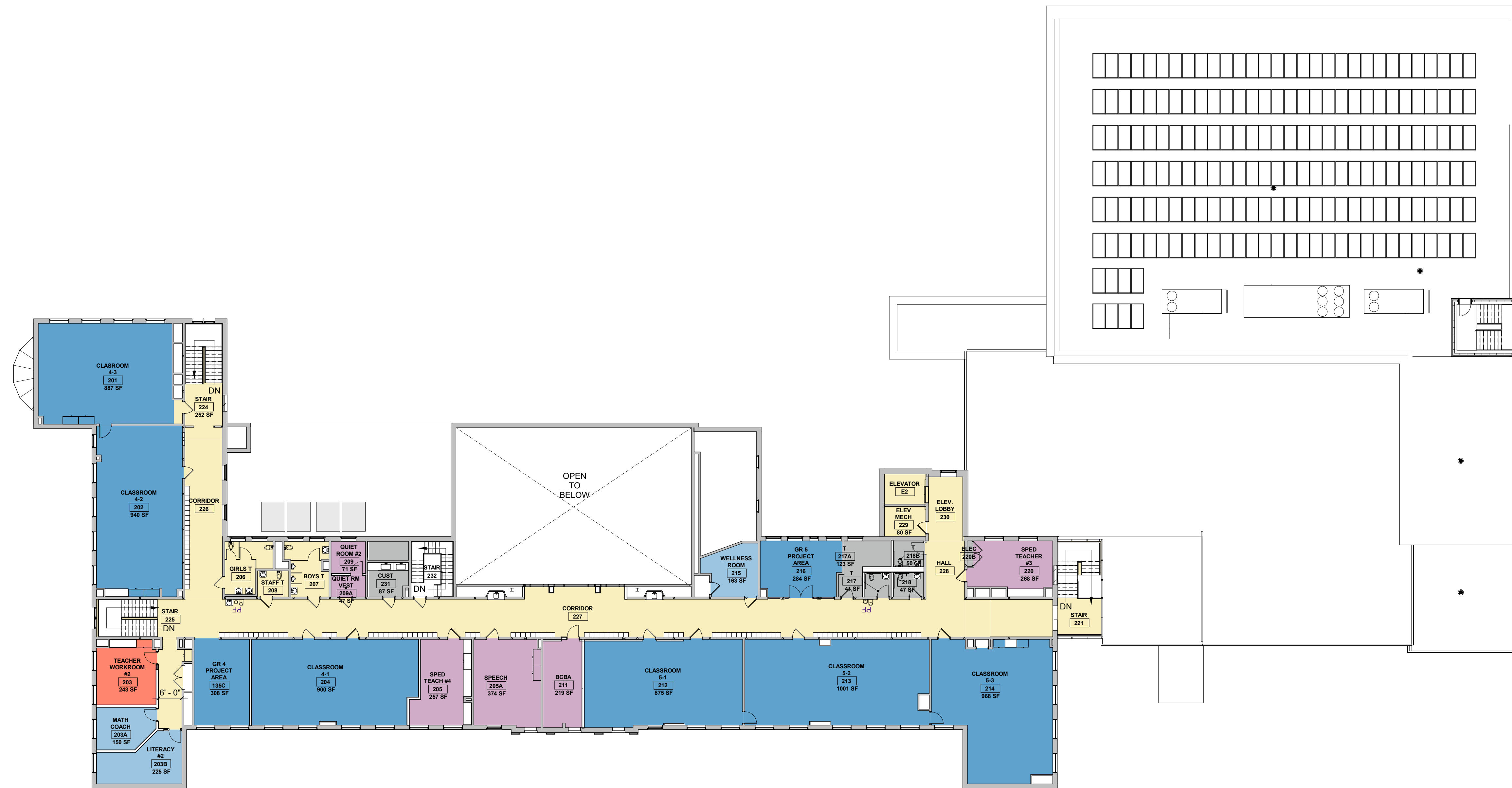
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Date: March 29, 2024
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Department Legend

- Admin & Guidance
- Circulation
- Core Academic Spaces
- Cust, Maint, Toilets
- Special Education
- Support Services



1 SECOND FLOOR PLAN - PROGRAMMING
1/16" = 1'-0"

Horace Mann Elementary School
225 Nevada Street, Newton Massachusetts

SECOND FLOOR PROGRAMMING PLAN - OVERALL

Revisions:

No.	Date	Description

Drawing Scale: 1/16" = 1'-0"

Project No.: NEW2101

Date: March 29, 2024
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